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Skagit County Auditor

REVIEWED BY  
SKAGIT COUNTY TREASURER  
DEPUTY Kailee Ardman  
DATE 10/18/2024

**COVER SHEET**

Return to:

PORT OF SKAGIT COUNTY  
15400 AIRPORT DRIVE  
BURLINGTON, WA 98233

Document Title(s) (or transactions contained herein):

- 1. **Ground Lease Agreement**

Reference No. of Related Document(s):

Grantor(s) (last name, first name and initials):

- 1. **Port of Skagit County**

Grantee(s) (last name, first name and initials):

- 1. **Joseph W. Fisher and Barbara Ann Fisher Trust**

Legal Description (abbreviated: i.e., lot, block, plat or quarter, quarter, section, township and range)

**A PORTION OF 87, OF THE ALTERATION TO AMENDED SKAGIT  
REGIONAL AIRPORT BINDING SITE PLAN, PHASE 1, AF  
202112100111**

Additional Legal Description(s) on page 4 of Document.

Assessor's Parcel/Tax I.D. Number: 35352

GROUND LEASE AGREEMENT

BETWEEN

PORT OF SKAGIT COUNTY

and

JOSEPH W. FISHER II AND BARBARA ANN FISHER TRUST

Commencement Date:

August 11, 2020

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PORT OF SKAGIT COUNTY  
GROUND LEASE AGREEMENT

THIS GROUND LEASE AGREEMENT, hereinafter referred to as "this Lease," is made as of August 11, 2020, by and between the PORT OF SKAGIT COUNTY, a Washington municipal corporation, hereinafter referred to as "Lessor," or "Port," and JOSEPH W. FISHER II AND BARBARA ANN FISHER TRUST, hereinafter referred to as "Lessee."

**WITNESSETH:**

The Port will lease the Premises described below to Lessee during the construction period between the Commencement Date and Occupancy Date, each defined below, and for a term of thirty (30) years after Occupancy Date, upon the terms and conditions set forth herein.

Therefore, in consideration of their mutual covenants, agreements and undertakings hereinafter contained, the parties hereto do mutually agree to that which is hereinafter set forth, upon and subject to the following terms, conditions, covenants and provisions:

1. PROPERTY SUBJECT TO THIS LEASE AGREEMENT

The following described property (the "Premises") is covered by this Lease:

A portion of Lot 87 of Amended Skagit Regional Airport Binding Site Plan Phase 1, recorded March 4, 2003, under Skagit County Auditor's file number 200303040030, consisting of a hangar lot of approximately 16,800 square feet (actual square feet to be determined) as depicted on attached Exhibit 1.

The non-exclusive, non-preferential, and non-discriminatory right to use any aprons or taxiways to access the Airport runways shall be considered appurtenant to the Premises and shall be considered part of the definition of Premises.

2. TERM / OPTION TO EXTEND/EARLY TERMINATION

a. Term: This Lease shall commence when signed by both parties (the "Commencement Date"). The initial term ("Initial Term") of this Lease shall begin on the Occupancy Date and continue until that date which is thirty (30) years after the Occupancy Date, which shall be the first day of the first month after (i) Lessee obtains an occupancy permit for the Improvements from Skagit County.

b. Options to Extend: Lessee is granted the right to extend this Lease for two (2) consecutive ten (10) year option periods (each an "Option Period") by giving written notice of said intention to Lessor not less than one hundred twenty (120) days prior to the expiration of the Initial Term or any extended term (the Initial Term and any extended term, together, the "Term"), conditioned upon the following:

- i. all terms, covenants and conditions of this Lease during the initial or extended term have been fully met and fulfilled by Lessee, and
- ii. the conditions set forth in Section 22 have been met.

Upon such extension, all terms and conditions of the initial or previous term shall continue with the exception that the rental shall be determined in accordance with the paragraph entitled "PROCEDURE TO DETERMINE ADJUSTED RENT FOR OPTION PERIOD(S) – MARKET RENT VALUE."

c. Lessor has the right to terminate this Lease in the event Lessee has not started construction on the new hangar by June 1, 2021.

d. Lessee has the right to terminate this Lease at any time prior to June 1, 2021.

e. Lessor's Option to Buy Out Lease Rights and Improvements: The foregoing notwithstanding, Lessor may give notice at any time during the term or any extension hereof of its intent to terminate this lease by buying out the balance of this Lease and options to extend (collectively the "Residual Lease Life") and any tenant-owned improvements on the Premises ("Improvements") at the then fair market value ("FMV") of each. Such notice shall be in writing, state a date of termination not less than one hundred eighty (180) days into the future and include the name of an appraiser or appraisers to determine the Residual Lease Life FMV and the fair market value of any Improvements at Lessor's cost ("Lessor's Notice"). If the parties cannot agree on an appraiser or appraisers within fourteen (14) days of Lessor's Notice, the FMV of the Residual Lease Life and Improvements shall be established by averaging the FMV determinations from the appraisal(s) of the parties' own appraisers; *provided*, that each party shall pay for its own such appraisal(s) and no appraisal shall be considered if not obtained within seventy-five (75) days of Lessor's Notice. The Residual Lease Life and Improvement FMV so established shall be final and binding on the parties. Upon giving of Lessor's Notice, the Lessor and Lessee shall mutually agree to relocate Lessee on other taxiway accessible Port-owned land. The Lessor shall not force a Buy Out of the Lease Rights and Improvements at a loss to the Lessee unless mutually agreed upon.

### 3. BUSINESS PURPOSE

a. **Business Purpose:** It is understood and agreed that Lessee intends to use the Premises to construct two (2) hangar buildings, of approximately 14,400 square feet each, and related facilities (the "Improvements") for aircraft storage and operations and to conduct such other activities as are incidental and reasonably related to general aviation. Failure to store aircraft, cessation of such activities, or the carrying on of other type(s) of unauthorized activities shall constitute a material default by Lessee of this Lease. Lessee shall at all times operate on the Premises in a manner which will assure the safe, lawful and healthful use of the Premises. Lessee agrees that it will not disturb the Lessor or any other tenant of the Lessor by making or permitting any disturbances or any unusual noise, vibration or other condition on or in the Premises.

b. **Remedies for Non-Performance:** Should Lessee (or a sub-lessee) fail to conduct its operations on the Premises pursuant to the requirements of the section above entitled "BUSINESS PURPOSE" then Lessor may, by written notice to Lessee, declare Lessee to be in provisional default hereunder. Should Lessee not cure the basis(es) for such provisional default within twelve (12) months of such notice, then Lessor may pursue any and all remedies as set forth in Paragraph 28 entitled "DEFAULT AND RE-ENTRY" without necessity of engaging in initial discussions as described in said section.

c. Lessee will not permit any use or activity to be conducted upon the Premises that is not allowed by the Lease, Skagit County zoning ordinances or Port of Skagit County rules and regulations, Skagit Regional Airport Master Plan or Skagit Regional Airport Minimum Standards. Lessee will not enter into any sublease agreement when the proposed use of the Premises requires a Special Use Permit, rezone, variance of any kind, environmental impact statement or any other use that requires special permission by a governing body, without prior written consent of the Lessor, which shall not be unreasonably withheld.

d. Lessor reserves the right to adopt a policy or policies which specifically exclude certain types of business activities that are inconsistent with Lessor's planned development of the Skagit Regional Airport or the Bayview Business Park. Lessee hereby agrees to comply with all such policy or policies.

### 4. RENT

a. Beginning on the Occupancy Date, Lessee shall pay to Lessor, in lawful money of the United States, without any set-off or deduction, in addition to taxes, assessments, and other charges required to be paid hereunder by Lessee, an initial monthly rent for the Premises in an amount equal to the total square footage of the Premises, excluding the Access Routes, times \$0.0523 per square foot, plus

Washington leasehold excise tax (the "Rent"). Estimated Rent will be Eight Hundred Seventy Eight Dollars and Twenty-two Cents (\$878.22) plus Leasehold Excise Tax of One Hundred Twelve Dollars and Seventy-six Cents (\$112.76).

b. The Rent for each month shall be paid to the Lessor in advance on or before the first day of each and every month of the term of this Lease, and shall be payable at such place as the Lessor may hereinafter designate. The Rent may be further adjusted by the addition of other sums and charges specified elsewhere in this Lease. The Lessor shall have all of the same rights and remedies with respect to any additional rent or charges in the event of nonpayment or late payment as are available to it in the event of nonpayment or late payment of the Rent. The Rent shall be adjusted as provided in the below section entitled "PROCEDURE TO DETERMINE ANNUAL ADJUSTED RENT FOR INITIAL TERM."

5. PROCEDURE TO DETERMINE ANNUAL ADJUSTED RENT FOR INITIAL TERM.

During the Initial Term, beginning on the first day of the first month which is at least one (1) year after the Occupancy Date, and on the same date of each year thereafter ("Change Date"), Rent shall be adjusted according to the procedures set forth below in this paragraph, and beginning on the first day of the first month which is at least one (1) year after any Market Change Date, and on the same date of each year thereafter:

a. Definitions: The adjusted Rent rate(s) shall be determined in accordance with the formula set forth below. In applying the formula, the following definitions apply:

1) "Bureau" means the U.S. Department of Labor, Bureau of Labor Statistics or any successor agency.

2) "Price Index" means the Consumer Price Index for all U.S. City Average, All Urban Consumers, Region West – Size Class B/C, issued from time to time by the Bureau, or any other measure hereafter employed by the Bureau in lieu of the price index that measures the cost of living or if said Bureau should cease to issue such indices and any other agency of the United States should perform substantially the same function, then the indices issued by such other agency.

3) "Current Index" means the Price Index for the Annual most recent preceding Change Date.

4) "Prior Year Index" means the Price Index for the Annual year prior to the Current Index.

b. Formula: The Adjusted Rent shall be determined by multiplying the Rent rate (s) being adjusted by a multiplier equal to the change in the Price Index since the last

adjustment computed as follows:

$$\begin{aligned} \text{Current Index} - \text{Prior Year Index} &= \text{Index Point Change} \\ \text{Index Point Change} / \text{Prior Year Index} \times 100 &= \text{Percent Change} \end{aligned}$$

$$\text{Percent Change} \times \text{Rent being adjusted} = \text{Adjusted Rent}$$

The Price Index (1982-84 = 100) for Annual 2019 was 157.019.

6. PROCEDURE TO DETERMINE ADJUSTED RENT FOR OPTION PERIOD(S) - MARKET RENT VALUE

On the commencement of the Option Period(s) ("Market Change Date") the Rent shall be adjusted as follows:

a. The Rent shall be adjusted to be the market rent value of the Premises without taking into account the value of any Improvements. Lessor shall notify Lessee, not later than one hundred twenty (120) days prior to the "Market Change Date" of the amount of new market rent, as determined by the Port Commission.

b. If Lessee notifies the Lessor that it rejects the market rent value established by Lessor (the "Rejection Notice") within thirty (30) days following Lessee's receipt of Lessor's proposed new market rent, then the fair cash value of the Premises shall be determined. Such determination shall be made by a MAI appraiser whose selection shall be by mutual agreement of the parties. If the parties are unable to agree on the selection within fourteen (14) days of Lessee's notice of non-acceptance, then either party may file a motion requesting selection of a MAI appraiser by the presiding judge of the Superior Court of Skagit County, and the court-selected MAI appraiser shall determine the fair cash market value of the Premises. Once the fair cash market value of the Premises is determined, the rent amount shall be based on Lessor's then established rate of return for comparable leased properties. The cost of the appraisal shall be borne equally by both parties. No party shall be entitled to any statutory or contractual costs or attorney fees related to a petition to appoint an appraiser hereunder.

7. SECURITY FOR RENT

The Rent hereunder is secured by the Improvements on the Premises which shall revert to Lessor upon expiration of the Term, the value of which is equal to or in excess of one (1) year's Rent, plus leasehold excise tax.



## 8. LATE CHARGES

Lessee hereby acknowledges that late payment by Lessee to the Lessor of Rent, or any other sums due hereunder will cause the Lessor to incur costs not otherwise contemplated by this Lease. Accordingly, if any installment of Rent or any other sum due from Lessee shall not be received by the Lessor within ten (10) days after such amount shall be due, then, without any requirement for notice to Lessee, Lessee shall pay the Lessor a late charge equal to 5% of such overdue amount. The parties agree that such late charge represents a fair and reasonable estimate of the costs the Lessor will incur by reason of late payment by Lessee. Acceptance of such late charge by the Lessor shall in no event constitute a waiver of Lessee's default with respect to such overdue amount, nor prevent the Lessor from exercising any of the other rights and remedies granted hereunder. In the event that a late charge is payable in this Lease or otherwise, whether or not collected, for three (3) installments of Rent in any 12-month period, then Rent shall automatically become due and payable quarterly in advance, rather than monthly notwithstanding the above section entitled "RENT" or any other provision of this Lease to the contrary. In addition to the late charges provided for in this section, interest shall accrue on Rent, or any other sums due hereunder, at the rate of one and one-half percent (1 1/2%) per month from the date due until paid.

## 9. CONSTRUCTION OF IMPROVEMENTS

a. Construction of Improvements. Lessee intends to construct a hangar building Improvements (as defined herein) on the Premises, at Lessee's cost, as set forth in attached Exhibit 2. Lessee shall not commence construction of any Improvements or alterations including but not limited to structural changes, painting of the exteriors of structures or interior of any buildings, changes to wiring and plumbing, or install any fixtures, other than fixtures which can be removed without injury to the Premises, (collectively, "Improvements") without prior written consent of Lessor and subject to any and all conditions in such approval. Lessee shall submit to Lessor for its written approval all plans and specifications relating to such construction of Improvements in accordance with development standards adopted by the Port Commission from time to time. Should the Lessor not respond to such submission within sixty (60) days, the request shall be deemed approved. Appropriate landscaping, a necessary part of any Improvements, to be approved by the Lessor. The construction of all Improvements shall be carried out by Lessee in a first-class manner at its sole cost and expense, and in full compliance with all federal, state, county, and other governmental statutory and regulatory requirements and permits. Within six (6) months of completion of all Improvements, Lessee shall provide Lessor with two (2) hard copy sets and one (1) electronic version of as-built or recorded drawings. Until the expiration or sooner termination of this Lease, title to any Improvements situated and constructed by Lessee on the Premises, as well as title to fixtures and articles of

personal property attached to or used in connection with the Premises by Lessee, shall remain solely in Lessee.

10. DISPOSITION OF EQUIPMENT AND IMPROVEMENTS AT END OF LEASE

Upon termination of the Lease, Lessee shall have the right to remove all equipment, personal property and trade fixtures which may have been placed upon the Premises by Lessee during the period of this Lease, provided that the same are removed upon conclusion of the Lease and that the Lease is in good standing. Any such equipment, personal property and trade fixtures not removed from the Premises by the conclusion of the Lease shall revert to Lessor. If Lessee does not remove all equipment, personal property and trade fixtures which have been placed on the Premises by Lessee during the period of this Lease and Lessor wants the property removed, then the same shall be removed and stored at Lessee's expense and Lessor shall recover any costs and expenses from the Lessee resulting from the removal. All Improvements shall become the property of the Lessor.

11. CONDITION OF THE PREMISES

Lessee has (a) inspected the Premises and accepts the Premises in their present condition; (b) is not relying upon any covenants, warranties or representations of Lessor as to its condition or usability, except Lessor's right to grant a lease of the property; and (c) agrees to make any changes in the Premises necessary to conform to federal, state and local law applicable to Lessee's use of the Premises.

12. PERMITS

a. Lessee shall (i) be solely responsible for obtaining and complying with all permits, approvals or licenses required for the operation and conduct of Lessee's business activities and for all permits, approvals and licenses necessary for the construction, installation, erection and/or operation of the Improvements.

b. Lessee shall provide Lessor with a copy of the occupancy permit issued by the appropriate permitting agency before occupying any improvements.

13. INSURANCE COVERAGE

a. Casualty Insurance: Lessee shall, at Lessee's expense, cause to be maintained on all Improvements belonging to Lessee, and on all of Lessee's personal property on the Premises, casualty insurance with extended coverage in the amount of their replacement value.

b. Liability Insurance: Lessee shall, at its own expense, maintain throughout the

term of this lease, proper liability insurance with a reputable insurance company or companies satisfactory to the Lessor in the minimum of \$1,000,000 single limit liability, and a comprehensive general liability broadening endorsement (and hereafter in such increased amounts to be comparable and consistent with the going or standard coverage in the area for comparable business operations). The \$1,000,000 single limit liability will be adjusted at the beginning of each Option Period to the then current standard single limit amount stated in the general lease policy of the Lessor.

c. Certificates: The Lessor shall be named as one of the insured, and shall be furnished a copy of such policy or policies or certificate(s) of coverage, or both, at the Lessor's election. Each certificate of insurance shall provide that the insurance policy or policies are not subject to cancellation without at least thirty (30) days advance written notice of such cancellation having been first given to the Lessor.

#### 14. WAIVER OF SUBROGATION

The Lessor and Lessee hereby mutually release each other, and their respective successors or assigns, from any liability and waive all right of recovery against each other from any loss from perils insured against under their respective insurance contracts, including any extended coverage endorsements thereto. Provided, that this section shall be inapplicable if it would have the effect, but only to the extent that it would have the effect, of invalidating any insurance coverage of Lessor or Lessee.

#### 15. HOLD HARMLESS PROVISIONS, LIABILITY AND INDEMNITY

The Lessor, its officers, employees and agents, shall not be liable for any injury (including death) or damage to any persons or to any property sustained or alleged to have been sustained by the Lessee or by others as a result of any condition (including existing or future defects in the Premises), or occurrence whatsoever related in any way to the Premises or related in any way to the Lessee's use of the Premises or Lessee's performance under this Lease, except to the extent of such damage caused solely by negligence of the Lessor. Lessee agrees to defend and hold and save the Lessor, its officers, employees and agents, harmless from any and all liability or expense (including expense of litigation) in connection with any such items of actual or alleged injury or damage.

#### 16. OFF STREET PARKING

Lessee agrees not to use any public streets, rights of way or other properties not included in this Lease for the parking of vehicles.

#### 17. ADVERTISING AND SIGNS

No signs or other advertising matter, symbols, canopies or awnings shall be installed, attached to or painted on the Premises without the prior written approval of the Lessor's executive director, or the executive director's designee.

#### 18. EQUAL OPPORTUNITY

The Lessee covenants and agrees that in the performance of this Lease, the Lessee shall conduct its activities in a manner that will assure fair, equal and nondiscriminatory treatment of all persons regardless of race, creed, sex, marital status or ethnic origin. Notwithstanding any exemption contained in the State or Federal law, the Lessee shall comply with all Federal and State laws, rules or regulations concerning hiring and employment and assuring the service of all patrons, customers, members or invitees without discrimination as to any person's race, creed, sex, marital status or ethnic origin.

#### 19. LAWS AND REGULATIONS

a. The Lessee agrees, at its sole cost and expense, to conform to, comply with and abide by all lawful rules, codes, ordinances, requirements, orders, directions, laws and regulations of the United States, the State of Washington, and any municipality or agency of any of said entities, including rules and regulations of Lessor, including without limitation those relating to environmental matters, now in existence or hereafter promulgated, applicable to the Lessee's use and operation of said Premises, including the construction of any improvements thereon, and not to permit said Premises to be used in violation of any of said rules, codes, laws or regulations. Any fees for inspection of the Premises during or for the term of this Lease by any federal, state or municipal officer shall be paid by Lessee. Lessee shall pay all costs, expenses, liabilities, losses, damages, fines, penalties, claims, and demands, including reasonable counsel fees that may in any manner arise out of or be imposed because of the failure of Lessee to comply with the covenants of this section.

b. Lessee understands that the Premises are within the Lessor's Skagit Regional Airport, situated in the Port's Industrial Development District. Lessor has or may promulgate and adopt resolutions, regulations and covenants for the orderly development, maintenance, care and control of all property within said district. The same affect Lessee's use of the Premises. Lessee agrees to comply with such resolutions, regulations and covenants in force as of the date of this Lease and all other resolutions, regulations and covenants which may be promulgated by Lessor so

long as they do not discriminate against Lessee and do not prevent the conduct of Lessee's business operations.

## 20. HOLDOVER

a. Holdover as Tenant at Sufferance. If Lessee shall, without the written consent of the Lessor, hold over after the expiration of the term of this Lease, such tenancy shall be at sufferance, which tenancy may be terminated as then provided by the laws of the state of Washington. All provisions of this Lease, except those inconsistent with a tenancy at sufferance and Subsection 20(b), entitled "Rent and Terms," hereof shall remain in effect during such hold over period.

b. Rent and Terms. During such tenancy, the Lessee agrees to pay to Lessor a monthly rent equal to one and one-quarter (1-1/4) times the most recently required monthly rent amount applicable for the month in which the term hereof expired or was terminated, which rental amount the Lessee and Lessor agree is reasonable.

## 21. ENVIRONMENTAL PROVISIONS

This section delineates the Lessor's and the Lessee's rights and obligations with respect to the release, spillage, storage, transportation or any other aspect of handling hazardous or toxic materials of any nature ("Hazardous Material") regulated by federal and/or state law ("Hazardous Material Regulation").

a. Lessee covenants to defend, indemnify, and hold Lessor harmless ("Indemnify") from any imposition or attempted imposition by any person or entity upon Lessor of any obligation or cost ("liability") of whatever form, including, without limitation, damages for personal injury or property damage; claims; governmental investigations, proceedings or requirements; attorney fees in investigation, at trial or administrative proceeding, or on appeal; witness or consultant costs; or any other liability to the extent that such liability arises from a violation, or alleged violation, or from the failure to satisfy a requirement, or alleged requirement, of any Hazardous Material Regulation and/or any environmental or land use law or regulation or arising from the release, spillage, or any other mishandling or misuse of any Hazardous Material causing damage to the property of, or resulting in injury to, any third person or any third person's property, the Lessor's property and proximately resulting from use of the Premises during the term of this Lease, and without regard to when the liability is asserted.

b. In like manner as in subsection a. above, so Lessor shall Indemnify Lessee solely for liability proximately resulting from an affirmative act on the Premises by Lessor prior to the commencement of this Lease, or from conditions caused by Lessor subsequent to the Commencement Date.

c. Lessee acknowledges that it has visually inspected the Premises for legally impermissible Hazardous Material contamination and that none was apparent on the surface of the Premises from a visual inspection as of the date of this Lease. Lessee releases any and all claims against Lessor for the costs to remediate, or pay damages or penalties to any third party due to any Hazardous Material contamination which henceforth may be discovered on the Premises, including payment of all attorney fees and claims of loss of, or interference with, use of the Premises, except to the extent caused by an affirmative act of Lessor.

d. Lessee shall notify Lessor within twenty-four (24) hours of its discovery of any release of a reportable quantity of any Hazardous Material, or of the receipt by Lessee of any notices, orders or communications of any kind from any governmental entity which relate to the existence of or potential for Hazardous Material or environmental pollution of any kind existing on or resulting from the use of the Premises or any activity conducted thereon. If Lessee fails to comply with any of the requirements of this section, Lessor may undertake, without cost or expense to Lessor, any actions necessary to protect Lessor's interest including steps to comply with such laws.

e. Should any Hazardous Material be released on or under the premises during the term of this Lease or any extension thereof, then Lessee shall at its sole cost and expense promptly and diligently remove such Hazardous Material from the Premises or the water underlying the Premises in accordance with applicable Hazardous Materials Regulations and industry standards.

Lessee shall not take any required remedial action in response to any such contamination on or under the Premises or enter into any settlement agreement, consent, decree or other compromise in respect to any claims or enforcement actions relating to any such Hazardous Material without first notifying Lessor of Lessee's intention to do so and affording Lessor the opportunity to appear, intervene or otherwise appropriately assert and protect Lessor's interest with respect thereto.

Lessee shall promptly and diligently take all steps to prepare any remediation plan required for contamination, obtain all necessary approvals for such remediation plan, and thereafter commence the required remediation within thirty (30) days after Lessor has approved Lessee's remediation plan and all other necessary approvals and consents have been obtained, and thereafter continue to diligently prosecute said remediation to completion in accordance with the approved remediation plan. If Lessee fails to take such action, Lessor, in its sole discretion, may cause said remediation to be accomplished and Lessee shall reimburse Lessor therefore within thirty (30) days of Lessor's demand for reimbursement of all amounts reasonably paid by Lessor. Said demand shall be accompanied by proof of payment by Lessor of the amounts demanded. Late payments shall be subject to interest and charges set forth in the paragraph entitled "LATE CHARGES" above.

Lessee shall promptly deliver to Lessor copies of all hazardous waste manifests, and otherwise deliver such information to Lessor as Lessor may require, to evidence the

proper disposal of all Hazardous Material removed from the Premises as part of Lessee's remediation of any contamination. Except as discharged into the sanitary sewer in strict accordance and conformity with applicable Hazardous Materials Laws, Lessee shall cause all Hazardous Material removed from the Premises as part of the required remediation of contamination to be removed and transported solely by duly licensed haulers to duly licensed facilities for final disposal of such materials and wastes.

f. Any other provision of this Lease to the contrary notwithstanding, Lessee's breach of any covenant contained in this section shall be an event of default empowering Lessor, in addition to exercising any remedy available at law or in equity, to terminate this Lease and to evict Lessee from the Premises forthwith in the manner provided by law and herein, subject only to any Sublessee's right to cure the default and remain in possession under the terms of its Sublease.

## 22. MAINTENANCE / COMMIT NO WASTE

During construction of the Improvement and at all times prior to the Occupancy Date, Lessee shall, at its sole expense and at all times, keep the Premises neat, clean, and in a sanitary condition; and keep and use the Premises in accordance with applicable laws, ordinances, rules, regulations, and requirements of governmental authorities. After the Occupancy Date, Lessee shall be responsible for all maintenance and repair of the Premises and shall conduct such maintenance and repairs in a manner and at times necessary to keep the Improvements in first class condition.

## 23. UTILITIES / ASSESSMENTS

Lessee agrees to contract with the appropriate provider and pay for all public utilities which shall be used in or charged against the Premises, and to hold the Lessor harmless from such charges. With regard to utilities provided by the Lessor including drainage, Lessee will pay to Lessor according to the Lessor's or Skagit County Utility/Drainage District 19's established rate.

If not already paid, Lessee shall pay to the Lessor within thirty (30) days of demand, that amount that is due to Fire District No. 6 (pursuant to the Interlocal Agreement between the Fire District and Port District for construction of the Bayview Ridge Fire Station) for any industrial or commercial development of Lessee's property in the amount of \$244.00 per 1,000 square feet of development.

## 24. LIENS AND INSOLVENCY

Lessee shall keep the Premises free from any liens arising out of work performed, materials furnished, or obligations incurred by Lessee. In the event Lessee becomes insolvent, voluntarily or involuntarily bankrupt, or if a receiver, assignee or other liquidating officer is appointed for the business of the Lessee, then the Lessor may

cancel this Lease at Lessor's option.

25. TAXES

From the Occupancy Date, Lessee shall pay any taxes on the Premises and/or on the leasehold interest created by this Lease and/or any activity arising under this Lease.

26. COSTS AND ATTORNEYS' FEES

If by reason of default on the part of either party to this Lease agreement it becomes necessary to employ an attorney to recover any payments due hereunder or to enforce any provision of this Lease, the prevailing party, whether such party be the successful claimant or the party who successfully defended against the claim of the other party, shall be entitled to recover a reasonable attorney's fee and to be reimbursed for such costs and expenses as may have been incurred by such prevailing party, including those incurred on appeal.

27. TERMINATION

a. Upon termination of this Lease or any extension thereof, whether by expiration of the stated term or sooner termination thereon as herein provided, Lessee shall surrender to Lessor said Premises peaceably and quietly and in the condition required under the paragraphs entitled "MAINTENANCE/COMMIT NO WASTE" and "DISPOSITION OF EQUIPMENT AND IMPROVEMENTS AT END OF LEASE."

b. The provisions of the following paragraphs shall survive termination of this Lease: 14, 15, 19, 22, 23, 24, 25, 32, and 33.

c. The Lessor has the right to request that Lessee remove all Improvements; at Lessee's expense.

28. DEFAULT AND RE-ENTRY

(i) Subject only to any Sublessee's right to cure the default and remain in possession under the terms of its Sublease, if (a) any Rent or other payment due from Lessee hereunder remains unpaid for more than five (5) days after the date it is due; (b) Lessee files a voluntary petition in bankruptcy or makes a general assignment to the benefit of, or a general arrangement with, creditors; (c) there is an involuntary bankruptcy filed against Lessee that has not been dismissed within thirty (30) days of filing; (d) Lessee becomes insolvent; or (e) a receiver, trustee, or liquidating officer is appointed for Lessee's business; or (ii) If Lessee violates or breaches any of the other covenants, agreements, stipulations or conditions herein, and such violation of breach shall continue for a period of ninety (90) days after written notice of such violation or breach is sent to Lessee, (each a "Default") Lessor may at its option, declare this Lease



forfeited and the term hereof ended, or without terminating this Lease elect to re-enter and attempt to relet, in which event Lessee authorizes Lessor to relet the Premises or any part thereof for such term or terms (which may be for a term extending beyond the term of this Lease) and at such rent or rents and upon such other terms and conditions as Lessor in its sole discretion deems advisable. Upon each such reletting, all rents received by Lessor from such reletting shall be applied, first, to the payment of any amounts other than rent due hereunder from Lessee to Lessor; second, to the payment of any costs and expenses of such reletting and renovation, including brokerage fees and attorneys' fees; third, to the payment of rent due and unpaid hereunder, and the residue, if any shall be held by Lessor and applied to payment of future rent as the same may become due and payable hereunder. If rent received from such reletting during any month are less than that to be paid during that month by Lessee hereunder, Lessee shall pay any such deficiency to Lessor, and Lessee covenants and agrees to pay Lessor for all other expenses resulting from its Default, including, but not limited to, brokerage commissions, attorneys fees and the reasonable cost of converting the premises for the benefit of the next lessee. Delinquent rent and other payments shall bear interest at the rate of twelve percent (12%) per annum from the date due until paid. In the event of any Lessee Default hereunder and entry in, or taking possession of, the Premises, Lessor shall have the right, but not the obligation, to remove from the Premises all personal property located therein, and may store the same in any place selected by Lessor, including but not limited to a public warehouse, at the expense and risk of the owners thereof, with the right to sell such stored property, without notice to Lessee, after it has been stored for a period of thirty (30) days or more, with the proceeds of such sale to be applied to the cost of such sale and to the payment of charges for storage, and to the payment of any other sums of money which may then be due from Lessee to Lessor under any of the terms hereof.

#### 29. ASSIGNMENT AND SUBLEASE

Lessee shall not, by operation of law or otherwise, assign or sublease any portion of the Premises except as set forth below.

a. Lessee may assign this Lease to a successor person or entity after approval by the Lessor subject to the following process:

1) Lessee shall provide to Lessor notice of intent to assign Lease no less than sixty (60) days prior to the intended assignment. Such notice shall be in writing and shall at a minimum include: The assignee's name, representative, mailing and e-mail addresses, telephone and facsimile numbers.

2) The Assignee shall, at least forty-five (45) days prior to the intended assignment date, provide: (i) full and complete information, as requested by Lessor, as to Lessee's financial ability and operational/business experience to

successfully conduct business in the Premises and meet the obligations, financial and otherwise, under this Lease, including references; and (ii) assignee's proposed business plan for operations under the Lease in the Premises (collectively, "Assignee's Documentation").

3) Lessor shall, within thirty (30) days of receipt of the complete Assignee's Documentation, approve or approve with conditions the assignment/assignee unless it articulates in writing a reasonable basis for rejection consistent with its then-current approval criteria for tenants at Bayview Business Park or it articulates in writing the basis for its reasonable determination that the assignee cannot meet the terms of this Lease; *provided*, that Lessor's consent may, in any event, be conditioned on the requirement that there be no uncured defaults in the Lessee's obligations under this Lease by or at the date of the assignment and/or that the assignee meet certain reasonable conditions to assure compliance with the terms of the Lease, regulatory requirements, the Lessor's mission, vision and/or development standards.

b. The consent of Lessor to any assignment or sublease shall not in any manner be construed to relieve Lessee from: 1) the requirement to obtain Lessor's express written consent to any other or further assignment; 2) its duties and obligations under the Lease.

c. Lessee will not permit any use or activity to be conducted upon the Premises that is not allowed by the Lease, Skagit County zoning ordinances or Port of Skagit County rules and regulations. Lessee will not enter into any sublease agreement when the proposed use of the Premises requires a Special Use Permit, rezone, variance of any kind, environmental impact statement or any other use that requires special permission by a governing body, without prior written consent of the Lessor, which shall not be unreasonably withheld.

d. Lessor reserves the right to adopt a policy or policies which specifically exclude certain types of business activities that are inconsistent with Lessor's planned development of the Skagit Regional Airport or the Bayview Business Park. Lessee hereby agrees to comply with all such policy or policies that are not inconsistent with the paragraph entitled "BUSINESS PURPOSE."

e. As a condition to any assignment or sublease, Lessor may revise the rent to be consistent with its then current rent policy. The sale or transfer (whether in a single transaction or cumulatively) of fifty percent (50%) or more of the equity in Lessee shall be considered an assignment.

f. Lessee, and any of its permitted successors and assigns, may encumber its interest in this lease in favor of a third party lender ("Leasehold Mortgagee") with

Lessor's prior written consent, substantially in the Port's standard form of consent to assignment, as set forth in Exhibit 3 attached hereto.

30. LESSOR'S RIGHT TO ENTER PREMISES

Lessor and/or its authorized representatives shall have the right to enter the Premises at all reasonable times for any of the purposes set forth below. Except in the event of bona fide emergencies, Lessor shall provide notice to Lessee and any Sublessee not less than two business days in advance of any such inspection.

- a. To determine whether or not the Premises are in good condition or whether the Lessee is complying with its obligations under this Lease; and
- b. To do any necessary maintenance and to make any restoration to the Premises that the Lessor has the right or obligation to perform; and
- c. To repair, maintain or improve the Aprons Improvements Lease Premises ; and
- d. To do any other act or thing necessary for the safety or preservation of the Premises.

Lessor shall not be liable in any manner for any inconvenience, disturbance, loss of business, nuisance, or other damage arising out of the Lessor's entry onto the premises as provided in this section. Lessor shall conduct its activities on the Premises as provided herein in a manner that will cause the least inconvenience, annoyance or disturbance to the Lessee.

31. RETENTION OF AIRSPACE RIGHTS BY LESSOR

Lessor retains the public and private right of flight for the passage of aircraft in the airspace above the surface of the Premises, together with the right to cause in said airspace such noise as may be inherent in the operation of aircraft, now known or as hereinafter used, for navigation of or flight in said airspace and for use of said airspace for taking off from, landing on or operating at Skagit Regional Airport.

32. FEDERAL AVIATION ADMINISTRATION REQUIREMENTS

Lessee agrees:

- a. To prevent any operation on the Premises which would produce electromagnetic radiation of a nature which would cause interference with security gates, any existing or future navigational aid or communication aid serving Skagit Regional Airport, or which would create any interfering or confusing light or in any way restrict visibility at the Airport; and

b. To prevent any use of the Premises which would interfere with landing or taking off of aircraft at Skagit Regional Airport, or otherwise constitute an aviation hazard.

### 33. NOTICES

All notices or payment hereunder may be delivered or mailed. Below are the addresses of the parties:

LESSOR: Port of Skagit County  
15400 Airport Drive  
Burlington, WA 98233

LESSEE: Joseph W. Fisher II and Barbara Ann  
Fisher Trust  
14672 S Ave 4 1 / 4 E  
Yuma, AZ 85365

Phone: (360) 757-0011

FAX: (360) 757-0014

### 34. MISCELLANEOUS

It is mutually agreed and understood that time is of the essence of this lease and that a waiver of any Default of Lessee shall not be construed as a waiver of any subsequent Default, and that any notice required to be given under this lease may be given by United States Mail addressed to the party identified in the paragraph entitled "NOTICES" of this lease.

IN WITNESS WHEREOF, Lessor has caused this instrument to be signed by its president and secretary on the date and year first above written.

LESSOR:

LESSEE:

PORT OF SKAGIT COUNTY

JOSEPH W. FISHER II

[Signature]  
Commission President

[Signature]

Date: 8-11-20

Date: 8-7-20

[Signature]  
Commission Secretary

BARBARA ANN FISHER

[Signature]

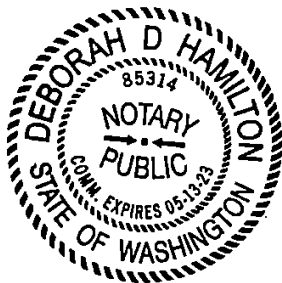
Date: 8-11-20

Date: 8.17.20

STATE OF WASHINGTON )  
  ) ss.  
COUNTY OF SKAGIT             )

On this 11<sup>th</sup> day of August, 2020, before me, the undersigned, a Notary Public in and for the state of Washington, duly commissioned and sworn, personally appeared Steve Omdal and Kevin Ware, to me known to be the president and secretary, respectively of the Port Commission of the Port of Skagit County, a municipal corporation, the corporation that executed the foregoing instrument, and acknowledged the said instrument to be the free and voluntary act and deed of said corporation, for the uses and purposes therein mentioned, and on oath stated that they are authorized to execute the said instrument.

Witness my hand and official seal hereto affixed the day and year first above written.



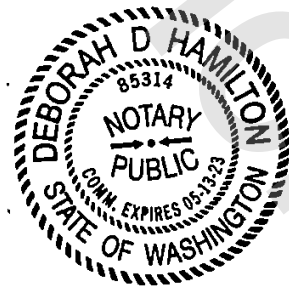
Deborah D. Hamilton  
Notary Public in and for the state of  
Washington, residing at Burlington WA  
My commission expires: 5-13-23  
Printed Name: Deborah D. Hamilton

Lessor: Port of Skagit County  
Lessee: Joseph W. Fisher II and Barbara Ann Fisher Trust

STATE OF WASHINGTON )  
 ) ss.  
COUNTY OF SKAGIT )

On this 7<sup>th</sup> day of August 2020, before me, the undersigned, a Notary Public in and for the state of Washington, duly commissioned and sworn, personally appeared Joseph W. Fisher II and Barbara Ann Fisher, to me known to be the trustees that executed the foregoing instrument, and acknowledged the said instrument to be the free and voluntary act and deed of said company, for the uses and purposes therein mentioned, and on oath stated that he is authorized to execute the said instrument.

Witness my hand and official seal hereto affixed the day and year first above written.



Deborah D Hamilton  
Notary Public in and for the state of  
Washington, residing at Burlington WA  
My commission expires: 5-13-23  
Printed Name: Deborah D Hamilton

# FISHER HANGARS & SITE IMPROVEMENTS

CALL TWO  
BUSINESS DAYS  
BEFORE YOU DIG  
811

**LEGEND**

<ul style="list-style-type: none"> <li>--- EXISTING POINT OF INTEREST</li> <li>--- EXISTING PROPERTY LINE</li> <li>--- EXISTING PROPERTY CORNER</li> <li>--- EXISTING STORM DRAIN</li> <li>--- EXISTING STORM DRAIN VALVE</li> <li>--- EXISTING SANITARY DRAIN</li> <li>--- EXISTING SANITARY DRAIN VALVE</li> <li>--- EXISTING FIRE HYDRANT</li> <li>--- EXISTING FLOOD WALL</li> <li>--- EXISTING FLOOD WALL CHASE</li> <li>--- EXISTING DRAIN LINE</li> <li>--- EXISTING DRAIN VALVE</li> <li>--- EXISTING DRAIN CHASE</li> <li>--- EXISTING DRAIN VALVE CHASE</li> <li>--- EXISTING DRAIN CHASE VALVE</li> <li>--- EXISTING DRAIN CHASE VALVE CHASE</li> <li>--- EXISTING DRAIN CHASE VALVE CHASE VALVE</li> <li>--- EXISTING DRAIN CHASE VALVE CHASE VALVE CHASE</li> <li>--- EXISTING DRAIN CHASE VALVE CHASE VALVE CHASE VALVE</li> <li>--- EXISTING DRAIN CHASE VALVE CHASE VALVE CHASE VALVE CHASE</li> <li>--- EXISTING DRAIN CHASE VALVE CHASE VALVE CHASE VALVE CHASE VALVE</li> </ul>	<ul style="list-style-type: none"> <li>--- PROPOSED POINT OF INTEREST</li> <li>--- PROPOSED PROPERTY LINE</li> <li>--- PROPOSED PROPERTY CORNER</li> <li>--- PROPOSED STORM DRAIN</li> <li>--- PROPOSED STORM DRAIN VALVE</li> <li>--- PROPOSED SANITARY DRAIN</li> <li>--- PROPOSED SANITARY DRAIN VALVE</li> <li>--- PROPOSED FIRE HYDRANT</li> <li>--- PROPOSED FLOOD WALL</li> <li>--- PROPOSED FLOOD WALL CHASE</li> <li>--- PROPOSED DRAIN LINE</li> <li>--- PROPOSED DRAIN VALVE</li> <li>--- PROPOSED DRAIN CHASE</li> <li>--- PROPOSED DRAIN VALVE CHASE</li> <li>--- PROPOSED DRAIN CHASE VALVE</li> <li>--- PROPOSED DRAIN CHASE VALVE CHASE</li> <li>--- PROPOSED DRAIN CHASE VALVE CHASE VALVE</li> <li>--- PROPOSED DRAIN CHASE VALVE CHASE VALVE CHASE</li> <li>--- PROPOSED DRAIN CHASE VALVE CHASE VALVE CHASE VALVE</li> <li>--- PROPOSED DRAIN CHASE VALVE CHASE VALVE CHASE VALVE CHASE</li> </ul>
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**CONTACTS:**

**PORT OF SEAGIRT CO.**  
1500 BOGERT BLVD.  
SEAGIRT, NJ 07663  
TEL: (201) 483-5500  
WWW.PORSEAGIRT.COM

**CITY OF BURLINGTON**  
100 N. WASHINGTON ST.  
BURLINGTON, NJ 08020  
TEL: (609) 271-4000  
WWW.CITYOFBURLINGTON.NJ.GOV

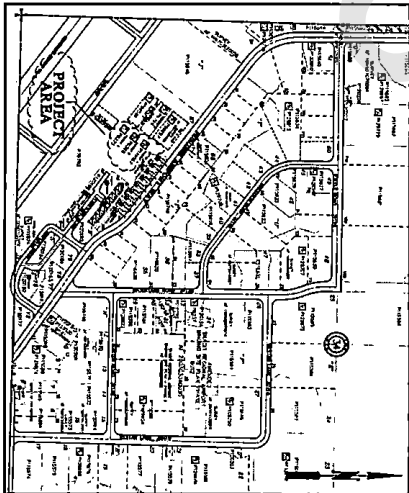
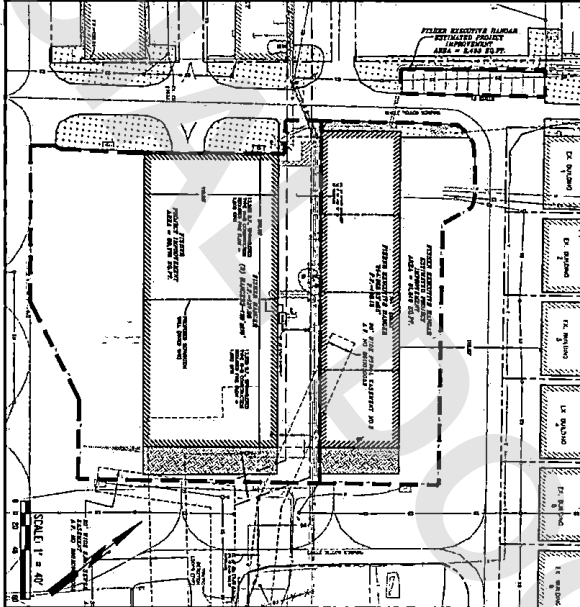
**CASCADE NATURAL GAS**  
100 W. WASHINGTON ST.  
BURLINGTON, NJ 08020  
TEL: (609) 271-4000  
WWW.CASCADEGAS.COM

**FAST SOUND ENERGY**  
100 W. WASHINGTON ST.  
BURLINGTON, NJ 08020  
TEL: (609) 271-4000  
WWW.FASTSOUNDENERGY.COM

**FIBER OPTIC**  
100 W. WASHINGTON ST.  
BURLINGTON, NJ 08020  
TEL: (609) 271-4000  
WWW.FIBEROPTIC.COM

**ZIPPLY FIBER**  
100 W. WASHINGTON ST.  
BURLINGTON, NJ 08020  
TEL: (609) 271-4000  
WWW.ZIPPLY.COM

**CIVIL ENGINEER**  
100 W. WASHINGTON ST.  
BURLINGTON, NJ 08020  
TEL: (609) 271-4000  
WWW.CIVILENGINEER.COM



**SHEET SCHEDULE:**

SHEET 1 OF 9	COVER
SHEET 2 OF 9	EXISTING CONDITIONS, SITE PREPARATION & EROSION CONTROLS
SHEET 3 OF 9	SITE PLAN
SHEET 4 OF 9	DETAILS
SHEET 5 OF 9	DETAILS
SHEET 6 OF 9	DETAILS
SHEET 7 OF 9	DETAILS
SHEET 8 OF 9	SECTION
SHEET 9 OF 9	SECTION

FOR AS-CONSTRUCTED INFORMATION ONLY

**Ravnik & Associates, Inc.**  
CIVIL ENGINEERING & LAND-USE PLANNING  
140 LINDWOOD LANE, SUITE 201  
FREEhold, NJ 07728  
TEL: 732-735-8888 FAX: 732-735-8889

**COVER**  
EXHIBIT 7

**PLAN STATUS: RECORD DRAWINGS**

DATE: 04/13/2023	SCALE: AS SHOWN
DESIGNED BY: J. KAMRAT	CHECKED BY: J. KAMRAT
DATE: 04/13/2023	DATE: 04/13/2023

SHEET TITLE:  
**FISHER MANAGEMENT  
PROPOSED HANGAR &  
SITE IMPROVEMENTS**  
SECTION 33, T. 35 N., R. 3 E. W.M.

FOR AS-CONSTRUCTED INFORMATION ONLY

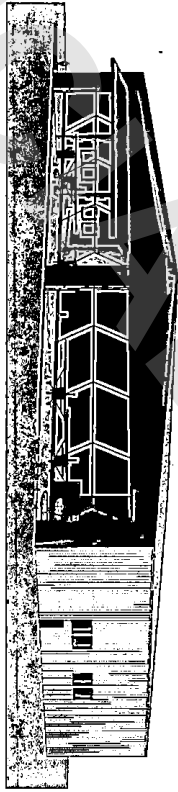
DATE: 04/13/2023

EXHIBIT 2

# FISHER HANGARS AT SKAGIT AIRPORT

BURLINGTON, WASHINGTON

IFC 5-15-2022



Project Name:  
**Fisher Hangars**

NO.	DATE	DESCRIPTION

Project Number:  
**A000**

Project Title:  
**TITLE SHEET**

## PROJECT TEAM

PROPERTY OWNER  
**PORT OF SKAGIT COUNTY**  
 1000 N. WASHINGTON ST.  
 BURLINGTON, WA 98223

Building Owner/Client  
**MRS. JOE FISHER**  
 1000 N. WASHINGTON ST.  
 BURLINGTON, WA 98223  
 PHONE: (360) 733-6000

CONTRACTOR  
**TRICO COMPANIES, LLC**  
 1000 N. WASHINGTON ST.  
 BURLINGTON, WA 98223  
 PHONE: (360) 733-6000

ARCHITECT  
**UNDERWOOD & ASSOCIATES, LLC**  
 1000 N. WASHINGTON ST.  
 BURLINGTON, WA 98223  
 PHONE: (360) 733-6000

CIVIL  
**RAMNIK & ASSOCIATES, INC**  
 1000 N. WASHINGTON ST.  
 BURLINGTON, WA 98223  
 PHONE: (360) 733-6000

STRUCTURAL  
**PETERSON STREHLE MARTINSON**  
 1000 N. WASHINGTON ST.  
 BURLINGTON, WA 98223  
 PHONE: (360) 733-6000

C:\Users\jpm\OneDrive\Fisher Hangars\_REVISED\CONTRACT.rvt



**FISHER HANGARS  
 & SITE IMPROVEMENTS**

CALL THE  
 BUSINESS BEFORE YOU DIE  
 911

FOR  
 AS-CONSTRUCTED  
 INFORMATION ONLY

**LEGEND**

[Symbol]	PROPOSED OPEN SPACE AREA
[Symbol]	PROPOSED EXISTING OPEN SPACE AREA
[Symbol]	PROPOSED EXISTING OPEN SPACE AREA WITH SHADING
[Symbol]	PROPOSED EXISTING OPEN SPACE AREA WITH SHADING AND DIMENSIONS
[Symbol]	PROPOSED EXISTING OPEN SPACE AREA WITH SHADING AND DIMENSIONS AND CURBS
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**CONTACTS:**

**PORT OF SEACREST CO.**  
 1600 AIRPORT BOULEVARD  
 SEACREST, FL 32576  
 TEL: (904) 873-1111  
 FAX: (904) 873-1111  
 WWW.PORTSEACREST.COM

**CITY OF BURLINGTON**  
 1700 WEST BURLINGTON AVENUE  
 BURLINGTON, VA 22203  
 TEL: (703) 377-4000  
 FAX: (703) 377-4000  
 WWW.CITYOFBURLINGTON.COM

**CONTRACTOR**  
 RAVNIK & ASSOCIATES, INC.  
 1401 LINDENWOOD AVENUE, SUITE 300  
 FORT LAUDERDALE, FL 33309  
 TEL: (760) 752-2484  
 FAX: (760) 752-2484  
 WWW.RAVNIKANDASSOCIATES.COM

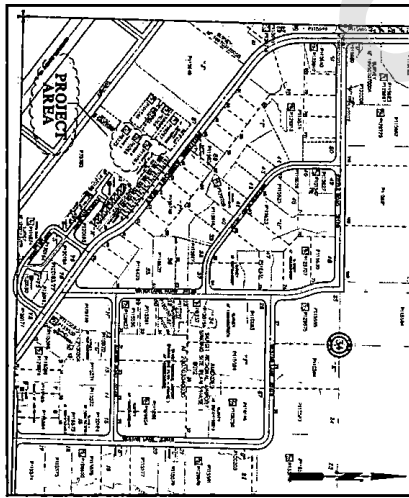
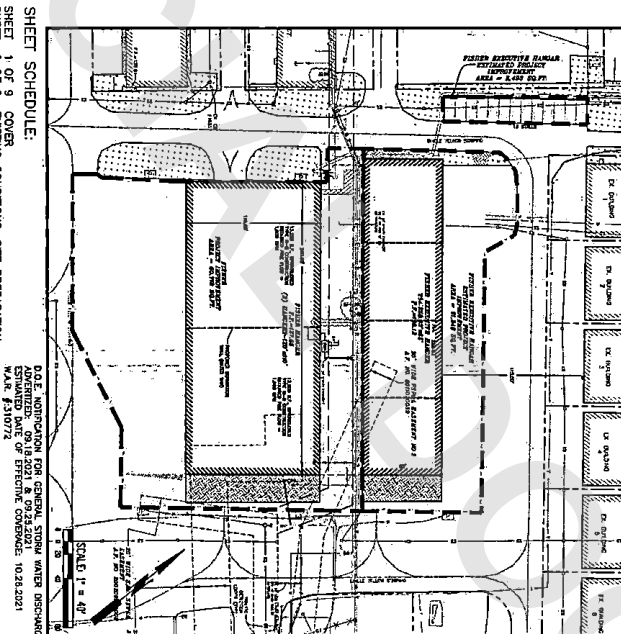
**CIVIL ENGINEERING**  
 1000 GUYTON AVENUE  
 SEACREST, FL 32576  
 TEL: (904) 873-1111  
 FAX: (904) 873-1111  
 WWW.CIVIL-ENGINEERING.COM

**FIBER OPTIC**  
 1000 GUYTON AVENUE  
 SEACREST, FL 32576  
 TEL: (904) 873-1111  
 FAX: (904) 873-1111  
 WWW.FIBER-OPTIC.COM

**PIGET SOUND ENERGY**  
 1000 GUYTON AVENUE  
 SEACREST, FL 32576  
 TEL: (904) 873-1111  
 FAX: (904) 873-1111  
 WWW.PIGET-SOUND-ENERGY.COM

**CONTRACT INFORMATION**

NO.	DESCRIPTION	DATE	BY
1	CONTRACTOR ISS.	1/22	JAS



- SHEET SCHEDULE:**
- SHEET 1 OF 9 COVER
  - SHEET 2 OF 9 EXISTING CONDITIONS, SITE PREPARATION & EROSION CONTROLS
  - SHEET 3 OF 9 SITE PLAN
  - SHEET 4 OF 9 DETAILS
  - SHEET 5 OF 9 DETAILS
  - SHEET 6 OF 9 DETAILS
  - SHEET 7 OF 9 DETAILS
  - SHEET 8 OF 9 DETAILS
  - SHEET 9 OF 9 SPECIFICATIONS

**CIVIL ENGINEERING & LAND-USE PLANNING**  
 1401 LINDENWOOD AVENUE, SUITE 300  
 FORT LAUDERDALE, FL 33309  
 TEL: (760) 752-2484  
 FAX: (760) 752-2484  
 WWW.CIVIL-ENGINEERING.COM

**PLAN STATUS: RECORD DRAWINGS**

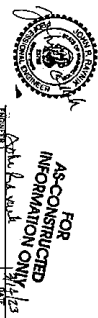
SCALE: AS SHOWN	DRAWN BY: D. BARKER
CHECKED BY: J. BARKER	DATE: 04/13/2023

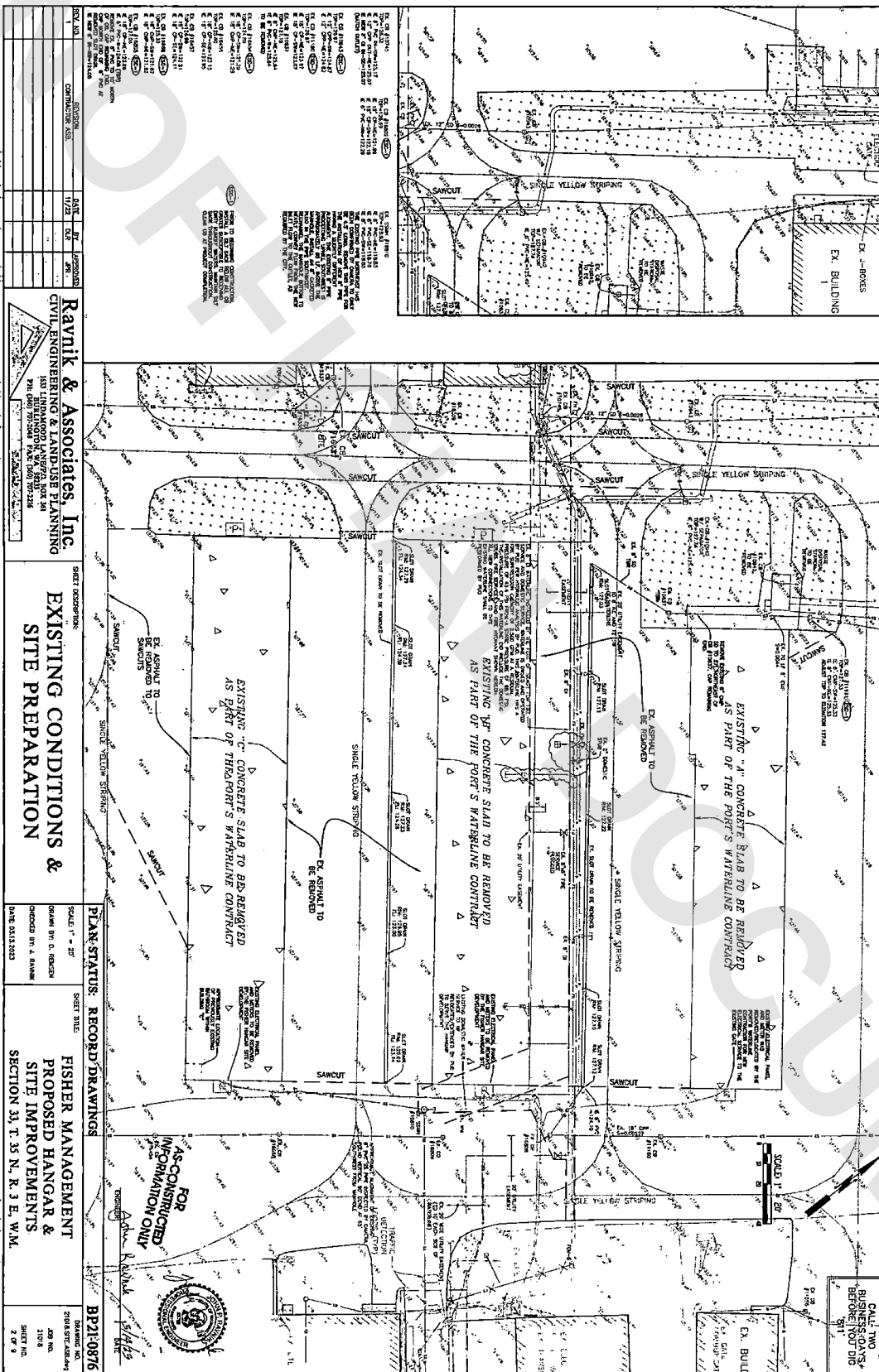
**FOR AS-CONSTRUCTED INFORMATION ONLY**

DATE: 10/18/2024  
 SHEET NO. 1 OF 9

**FISHER MANAGEMENT  
 PROPOSED HANGAR &  
 SITE IMPROVEMENTS**

SECTION 33, T. 35 N. R. 3 E., W.M.





NO.	DATE	BY	REVISION
1	11/23	ST	APPROVAL
CONTRACTOR USE:			

**Ravnik & Associates, Inc.**  
CIVIL ENGINEERING & LAND-USE PLANNING  
1403 LINCOLN PARKWAY, SUITE 200  
ANN ARBOR, MI 48106  
TEL: 313.763.5900 FAX: 313.763.7436  
WWW.RAVNIKANDASSOCIATES.COM

**EXISTING CONDITIONS & SITE PREPARATION**

PLAN STATUS: RECORD DRAWINGS

SCALE: 1" = 20'

DESIGNED BY: D. BOGREN  
CHECKED BY: J. BAWEK  
DATE: 03.13.2024

SHEET TITLE: FISHER MANAGEMENT PROPOSED HANGAR & SITE IMPROVEMENTS SECTION 31 T. 35 N. R. 3 E. WM.

FOR INFORMATION ONLY

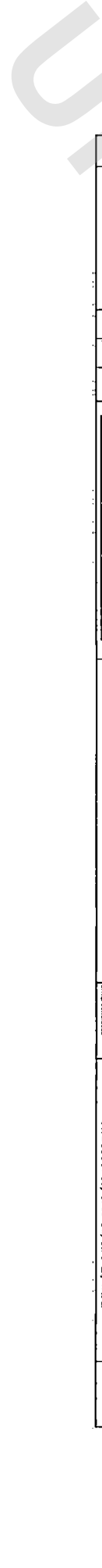
DATE: 10/18/2024

BY: ST

BP21-0876

2024.01.01 (C)

JOB NO. 2103  
SHEET NO. 2 OF 9



**NOT TO BE USED FOR CONSTRUCTION**  
THIS DRAWING IS FOR INFORMATION ONLY. IT DOES NOT CONSTITUTE AN OFFER OF CONTRACTOR SERVICES. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE BEFORE PROCEEDING WITH ANY WORK.

**EXISTING 'A' CONCRETE SLAB TO BE REMOVED AS PART OF THE PORT'S WATERLINE CONTRACT**  
**EXISTING 'C' CONCRETE SLAB TO BE REMOVED AS PART OF THE PORT'S WATERLINE CONTRACT**

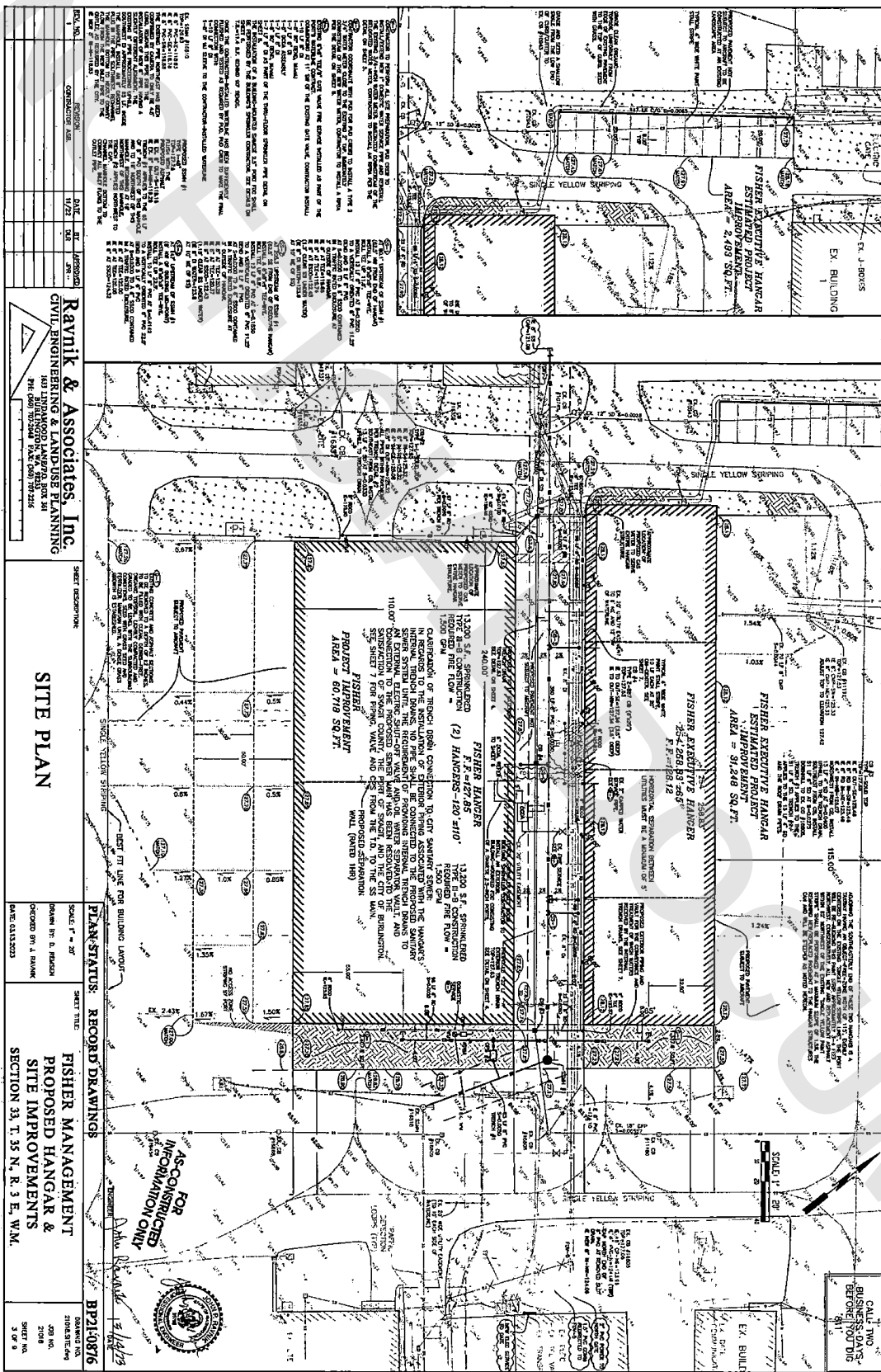
**EXISTING 'B' CONCRETE SLAB TO BE REMOVED AS PART OF THE PORT'S WATERLINE CONTRACT**  
**EXISTING 'D' CONCRETE SLAB TO BE REMOVED AS PART OF THE PORT'S WATERLINE CONTRACT**  
**EXISTING 'E' CONCRETE SLAB TO BE REMOVED AS PART OF THE PORT'S WATERLINE CONTRACT**

**EX. ASPHALT TO BE REMOVED**

SCALE: 1" = 20'

N

CALLING BUSINESS-DAYS BEFORE YOU DIG 311



NO. 1	DATE	BY	DESCRIPTION
1	11/23/23	APG	ISSUED FOR PERMITS
2	06/27/24	APG	ISSUED FOR PERMITS
3			
4			
5			
6			
7			
8			
9			
10			

**Ravnik & Associates, Inc.**  
 CIVIL, ENGINEERING & LAND-USE PLANNING  
 1401 HUNTINGWOOD LANE, SUITE 201  
 FARMINGTON, CT 06031  
 TEL: 860-793-5234 FAX: 860-793-7215

**SITE PLAN**

**PLAN STATUS: RECORD DRAWINGS**

SCALE: 1" = 20'  
 DRAWN BY: S. RAVNIK  
 CHECKED BY: J. RAVNIK  
 DATE: 11/23/23

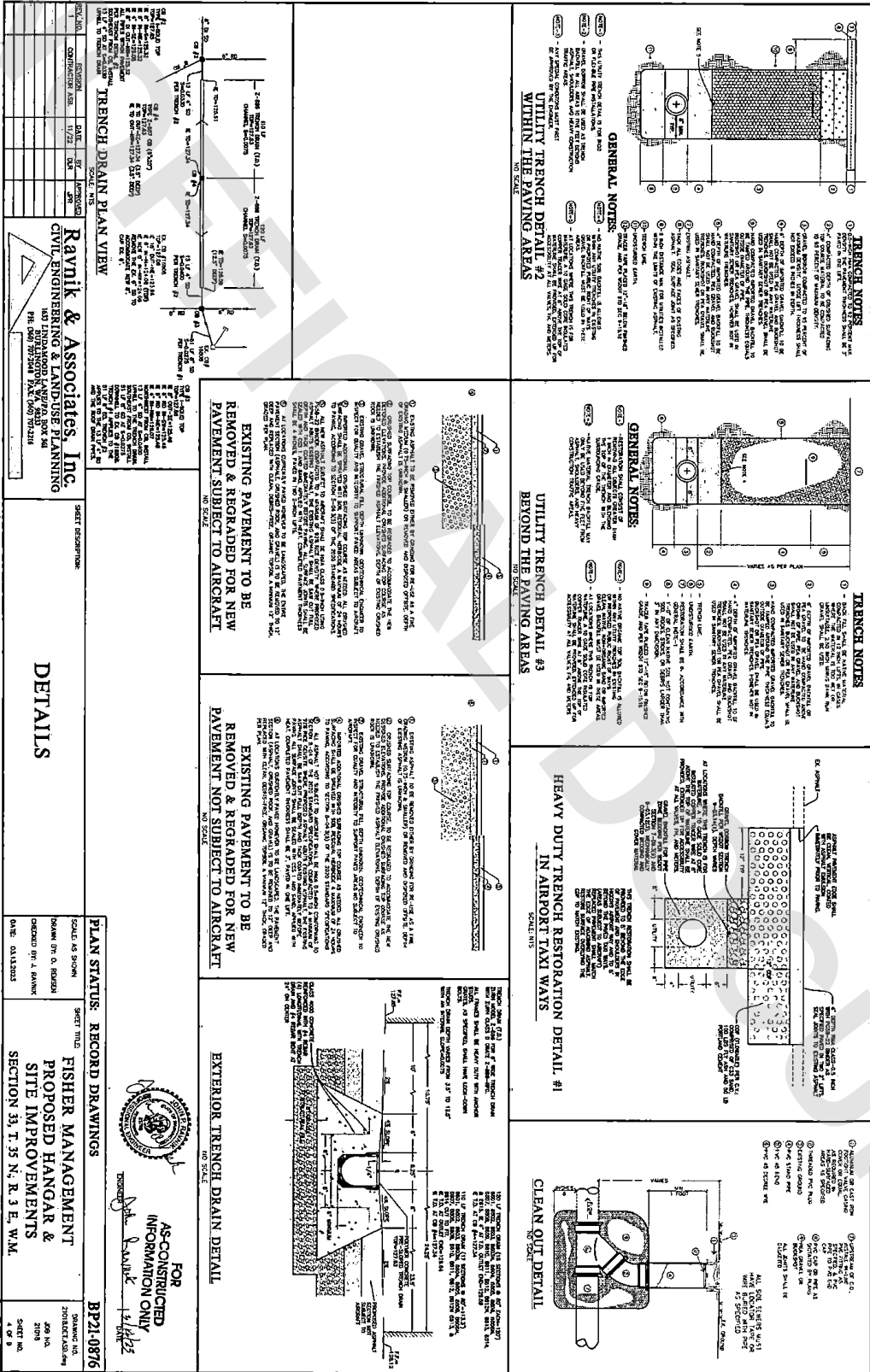
**FISHER MANAGEMENT PROPOSED HANGAR & SITE IMPROVEMENTS**  
 SECTION 33 T. 35 N. R. 3 E. W.M.

**BP21-0876**

**FOR INFORMATION ONLY**  
 AS-CONSTRUCTED  
 DATE: 12/19/23

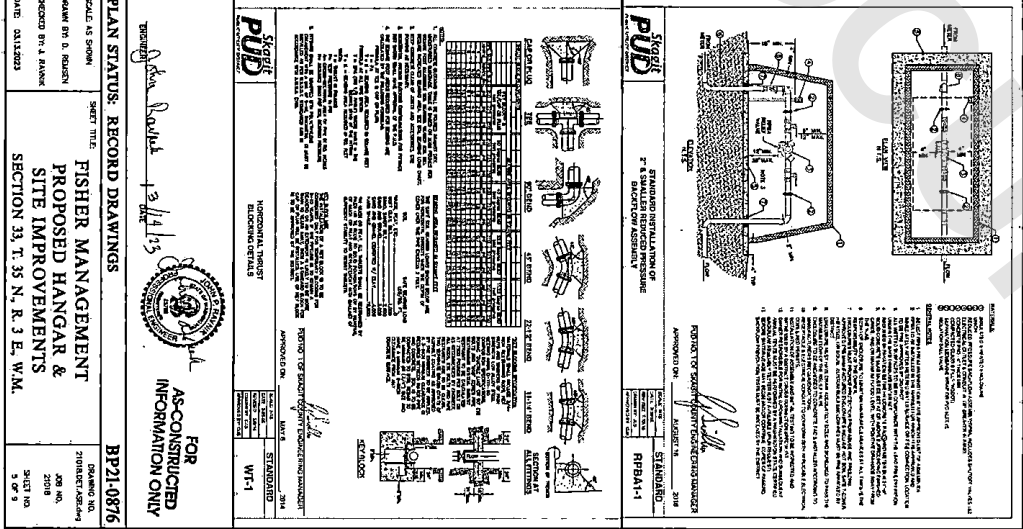
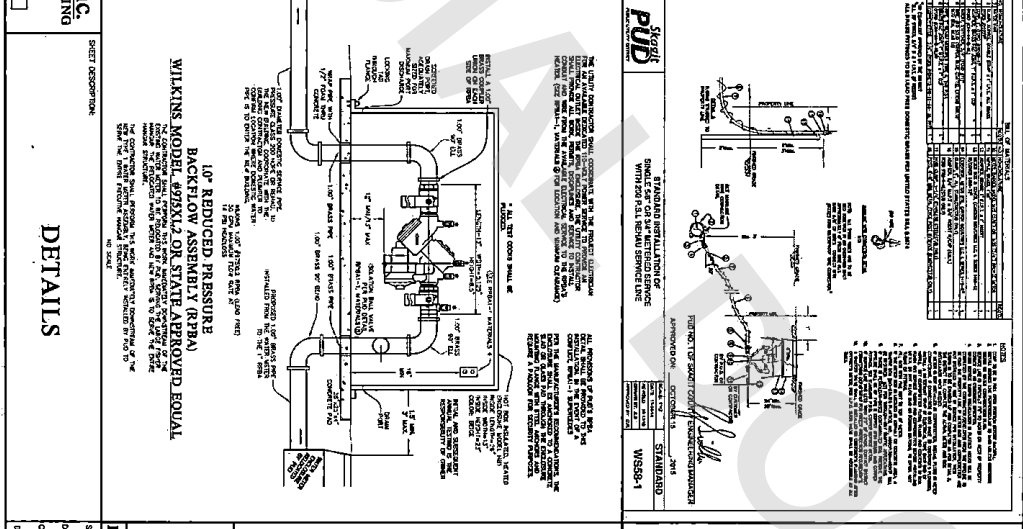
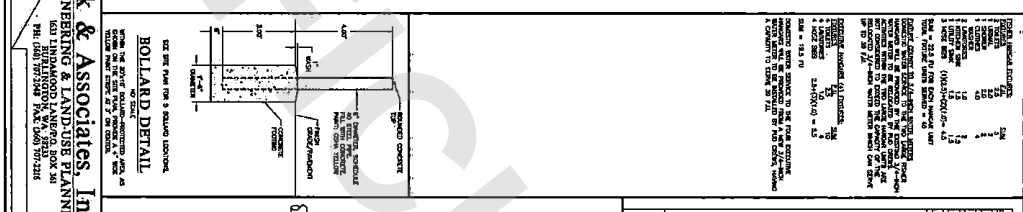


**CAUTION - BUSINESS DAYS BEFORE YOU DIG**



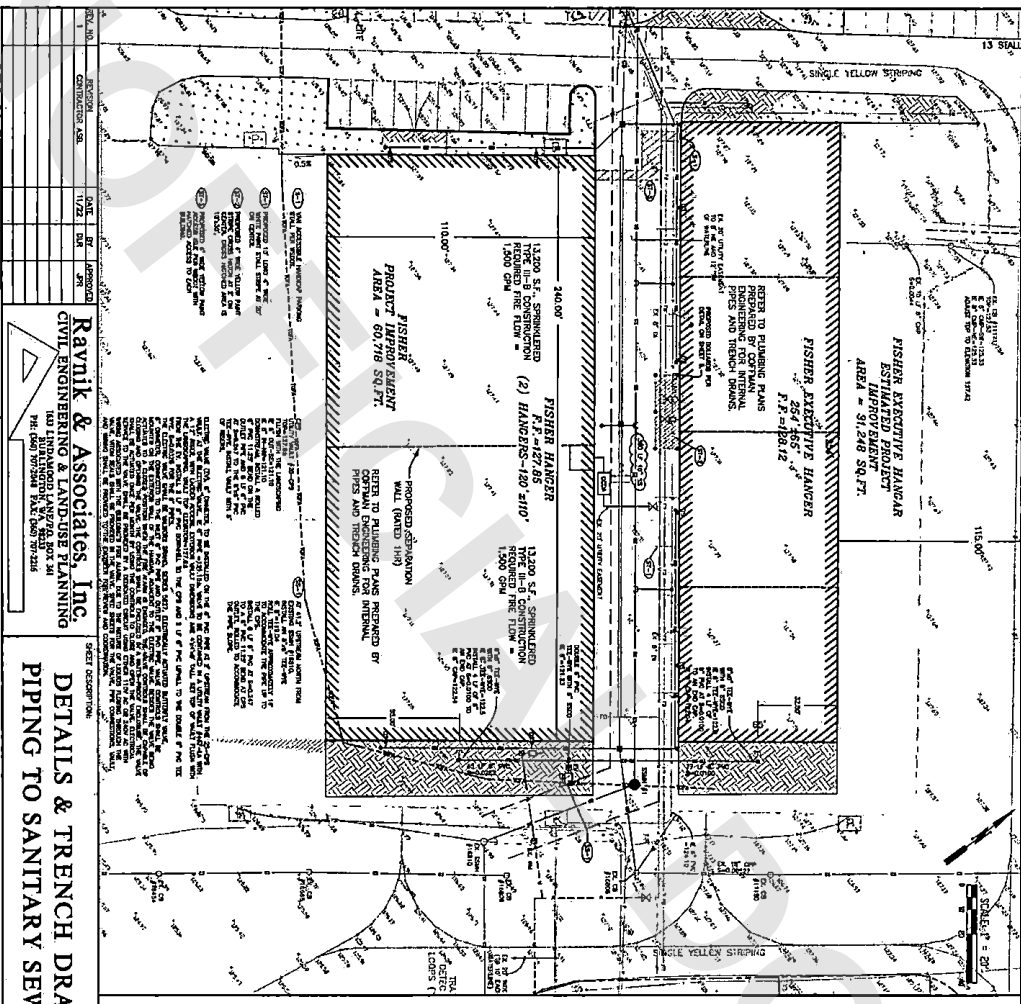
**GENERAL NOTES:**

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**RAVNIK & Associates, Inc.**  
CIVIL ENGINEERING & LANDSCAPE PLANNING  
651 LINCOLNWOOD AVENUE, SUITE 201  
MILWAUKEE, WISCONSIN 53212  
TEL: 414.224.2200  
WWW.RAVNIK.COM





SECTION DESCRIPTION:  
**DETAILS & TRENCH DRAIN PIPING TO SANITARY SEWER**

<p>SCALE AS SHOWN DRAWN BY: R. BOYD CHECKED BY: A. SIVANS DATE: 03/23/2023</p>	<p>SECTION TITLE: <b>FISHER MANAGEMENT PROPOSED HANGAR &amp; SITE IMPROVEMENTS SECTION 33, T. 55 N., R. 3 E. W.M.</b></p>	<p>PLAN STATUS: RECORD DRAWINGS DRAWING NO: BP21-0876 JOB NO: 2018 SHEET NO: 7 OF 9</p>
<p><b>25 CRS DETAIL</b></p> <p>SCALE: 3/4" = 1'-0"</p> <p>25-CRS Maximum Process Flow = 60 GPM</p> <p>OPERATIONS: 1. THE TRENCH DRAIN SHALL BE INSTALLED TO THE EXTERIOR OF THE BUILDING'S FOUNDATION TO COLLECT AND REMOVE WATER FROM THE BUILDING'S EXTERIOR SURFACE. 2. THE TRENCH DRAIN SHALL BE INSTALLED TO THE EXTERIOR OF THE BUILDING'S FOUNDATION TO COLLECT AND REMOVE WATER FROM THE BUILDING'S EXTERIOR SURFACE. 3. THE TRENCH DRAIN SHALL BE INSTALLED TO THE EXTERIOR OF THE BUILDING'S FOUNDATION TO COLLECT AND REMOVE WATER FROM THE BUILDING'S EXTERIOR SURFACE.</p> <p>FOR AS-COMPLETED INFORMATION ONLY</p>		

UNIVERSITY OF MICHIGAN

UNIVERSITY OF MICHIGAN

**Ravnik & Associates, Inc.**  
CIVIL ENGINEERING & LANDSCAPE PLANNING  
160 LINDENWOOD AVENUE, SUITE 201  
ANN ARBOR, MI 48106-1515  
PH: 734.769.1111 FAX: 734.769.1112

FOR AS-COMPLETED INFORMATION ONLY

*John Kowalik*  
3/23/23

**GENERAL NOTES:**

- The Contractor shall provide for all necessary permits, licenses, and approvals for the proposed work.
- All work shall be done in accordance with the approved plans and specifications, and the Contractor shall be responsible for obtaining all necessary permits and approvals.
- The Contractor shall be responsible for protecting existing utilities and structures on the site.
- The Contractor shall be responsible for providing all necessary access and egress for adjacent properties.
- The Contractor shall be responsible for providing all necessary safety measures and signage during the construction process.
- The Contractor shall be responsible for providing all necessary insurance and bonding for the project.
- The Contractor shall be responsible for providing all necessary quality control and inspection services.
- The Contractor shall be responsible for providing all necessary environmental protection and mitigation measures.
- The Contractor shall be responsible for providing all necessary public utility and communication services.
- The Contractor shall be responsible for providing all necessary traffic control and management during the construction process.
- The Contractor shall be responsible for providing all necessary site cleanup and restoration services.

**SECTION 01100 - GENERAL NOTES**

1. All work shall be done in accordance with the approved plans and specifications, and the Contractor shall be responsible for obtaining all necessary permits and approvals.

2. The Contractor shall be responsible for providing all necessary safety measures and signage during the construction process.

3. The Contractor shall be responsible for providing all necessary insurance and bonding for the project.

4. The Contractor shall be responsible for providing all necessary quality control and inspection services.

5. The Contractor shall be responsible for providing all necessary environmental protection and mitigation measures.

6. The Contractor shall be responsible for providing all necessary public utility and communication services.

7. The Contractor shall be responsible for providing all necessary traffic control and management during the construction process.

8. The Contractor shall be responsible for providing all necessary site cleanup and restoration services.

**SECTION 02100 - EXCAVATION**

1. The Contractor shall be responsible for providing all necessary safety measures and signage during the excavation process.

2. The Contractor shall be responsible for providing all necessary insurance and bonding for the project.

3. The Contractor shall be responsible for providing all necessary quality control and inspection services.

4. The Contractor shall be responsible for providing all necessary environmental protection and mitigation measures.

5. The Contractor shall be responsible for providing all necessary public utility and communication services.

6. The Contractor shall be responsible for providing all necessary traffic control and management during the excavation process.

7. The Contractor shall be responsible for providing all necessary site cleanup and restoration services.

**SECTION 03100 - CONCRETE**

1. The Contractor shall be responsible for providing all necessary safety measures and signage during the concrete construction process.

2. The Contractor shall be responsible for providing all necessary insurance and bonding for the project.

3. The Contractor shall be responsible for providing all necessary quality control and inspection services.

4. The Contractor shall be responsible for providing all necessary environmental protection and mitigation measures.

5. The Contractor shall be responsible for providing all necessary public utility and communication services.

6. The Contractor shall be responsible for providing all necessary traffic control and management during the concrete construction process.

7. The Contractor shall be responsible for providing all necessary site cleanup and restoration services.

**SECTION 04100 - MASONRY**

1. The Contractor shall be responsible for providing all necessary safety measures and signage during the masonry construction process.

2. The Contractor shall be responsible for providing all necessary insurance and bonding for the project.

3. The Contractor shall be responsible for providing all necessary quality control and inspection services.

4. The Contractor shall be responsible for providing all necessary environmental protection and mitigation measures.

5. The Contractor shall be responsible for providing all necessary public utility and communication services.

6. The Contractor shall be responsible for providing all necessary traffic control and management during the masonry construction process.

7. The Contractor shall be responsible for providing all necessary site cleanup and restoration services.



**SPECIFICATIONS**

DATE	DESCRIPTION
10/18/2024	REVISED

PLAN STATUS: RECORD DRAWINGS

SCALE: AS SHOWN

DRAWN BY: B. SMITH

CHECKED BY: A. BLAKE

SHEET TITLE: FISHER MANAGEMENT PROPOSED HANGAR & SITE IMPROVEMENTS SECTION 31, T. 53 N., R. 3 E., W.M.

FOR AS-CONSTRUCTED INFORMATION ONLY

DATE: 12/14/22

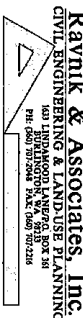
PROJECT NO: B2P1-0876

DATE: 12/14/22

SHEET NO: 32 OF 39



NO. 1	CONSTRUCTION	DATE	BY	REVISION	
1	CONSTRUCTION	11/22/24	DRS	ADD	




**Ravnik & Associates, Inc.**  
 CIVIL ENGINEERING & LAND-USE PLANNING  
 1401 HENDERSON LANE, SUITE 201  
 THE WOODBINE PARK, MD 20722

SHEET DESCRIPTION

# SPECIFICATIONS

PLAN STATUS: RECORD DRAWINGS	SHEET TITLE: FISHER MANAGEMENT PROPOSED HANGAR & SITE IMPROVEMENTS SECTION 33, T. 35 N., R. 3 E., W.M.	DRAWING NO.: ZP0240226046
SHEET AS SHOWN	DRAWN BY: B. GARDNER	DATE: 03/13/2023
	CHECKED BY: A. BLANK	
		DATE: 03/13/2023



FOR AS-CONSTRUCTED INFORMATION ONLY

DATE: 11/21/24

BP21-0876

**CONCRETE STRUCTURES**

1. All concrete shall be placed and finished in accordance with the provisions of the Specifications for Concrete Structures, Part 05100, Section 05101, of the Standard Specifications for Construction of the State of Maryland, 2024 Edition, and the provisions of the Specifications for Concrete Structures, Part 05100, Section 05101, of the Standard Specifications for Construction of the State of Maryland, 2021 Edition, unless otherwise specified.

2. All concrete shall be placed and finished in accordance with the provisions of the Specifications for Concrete Structures, Part 05100, Section 05101, of the Standard Specifications for Construction of the State of Maryland, 2024 Edition, and the provisions of the Specifications for Concrete Structures, Part 05100, Section 05101, of the Standard Specifications for Construction of the State of Maryland, 2021 Edition, unless otherwise specified.

3. All concrete shall be placed and finished in accordance with the provisions of the Specifications for Concrete Structures, Part 05100, Section 05101, of the Standard Specifications for Construction of the State of Maryland, 2024 Edition, and the provisions of the Specifications for Concrete Structures, Part 05100, Section 05101, of the Standard Specifications for Construction of the State of Maryland, 2021 Edition, unless otherwise specified.

**STEEL STRUCTURES**

1. All steel structures shall be fabricated and erected in accordance with the provisions of the Specifications for Steel Structures, Part 05200, Section 05201, of the Standard Specifications for Construction of the State of Maryland, 2024 Edition, and the provisions of the Specifications for Steel Structures, Part 05200, Section 05201, of the Standard Specifications for Construction of the State of Maryland, 2021 Edition, unless otherwise specified.

2. All steel structures shall be fabricated and erected in accordance with the provisions of the Specifications for Steel Structures, Part 05200, Section 05201, of the Standard Specifications for Construction of the State of Maryland, 2024 Edition, and the provisions of the Specifications for Steel Structures, Part 05200, Section 05201, of the Standard Specifications for Construction of the State of Maryland, 2021 Edition, unless otherwise specified.

3. All steel structures shall be fabricated and erected in accordance with the provisions of the Specifications for Steel Structures, Part 05200, Section 05201, of the Standard Specifications for Construction of the State of Maryland, 2024 Edition, and the provisions of the Specifications for Steel Structures, Part 05200, Section 05201, of the Standard Specifications for Construction of the State of Maryland, 2021 Edition, unless otherwise specified.

**WOOD STRUCTURES**

1. All wood structures shall be fabricated and erected in accordance with the provisions of the Specifications for Wood Structures, Part 05300, Section 05301, of the Standard Specifications for Construction of the State of Maryland, 2024 Edition, and the provisions of the Specifications for Wood Structures, Part 05300, Section 05301, of the Standard Specifications for Construction of the State of Maryland, 2021 Edition, unless otherwise specified.

2. All wood structures shall be fabricated and erected in accordance with the provisions of the Specifications for Wood Structures, Part 05300, Section 05301, of the Standard Specifications for Construction of the State of Maryland, 2024 Edition, and the provisions of the Specifications for Wood Structures, Part 05300, Section 05301, of the Standard Specifications for Construction of the State of Maryland, 2021 Edition, unless otherwise specified.

3. All wood structures shall be fabricated and erected in accordance with the provisions of the Specifications for Wood Structures, Part 05300, Section 05301, of the Standard Specifications for Construction of the State of Maryland, 2024 Edition, and the provisions of the Specifications for Wood Structures, Part 05300, Section 05301, of the Standard Specifications for Construction of the State of Maryland, 2021 Edition, unless otherwise specified.

**GENERAL NOTES**

1. All work shall be in accordance with the provisions of the Standard Specifications for Construction of the State of Maryland, 2024 Edition, and the provisions of the Standard Specifications for Construction of the State of Maryland, 2021 Edition, unless otherwise specified.

2. All work shall be in accordance with the provisions of the Standard Specifications for Construction of the State of Maryland, 2024 Edition, and the provisions of the Standard Specifications for Construction of the State of Maryland, 2021 Edition, unless otherwise specified.

3. All work shall be in accordance with the provisions of the Standard Specifications for Construction of the State of Maryland, 2024 Edition, and the provisions of the Standard Specifications for Construction of the State of Maryland, 2021 Edition, unless otherwise specified.



**UNOFFICIAL**

2018 NFPA 409

2018 INTERNATIONAL BUILDING CODE

**60277** (see 60277) **GENERAL**

60277.1 The building shall be constructed in accordance with the provisions of this code.

60277.2 The building shall be constructed in accordance with the provisions of this code.

60277.3 The building shall be constructed in accordance with the provisions of this code.

60277.4 The building shall be constructed in accordance with the provisions of this code.

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60277.23 The building shall be constructed in accordance with the provisions of this code.

60277.24 The building shall be constructed in accordance with the provisions of this code.

60277.25 The building shall be constructed in accordance with the provisions of this code.

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60277.31 The building shall be constructed in accordance with the provisions of this code.

60277.32 The building shall be constructed in accordance with the provisions of this code.

60277.33 The building shall be constructed in accordance with the provisions of this code.

60277.34 The building shall be constructed in accordance with the provisions of this code.

60277.35 The building shall be constructed in accordance with the provisions of this code.

60277.36 The building shall be constructed in accordance with the provisions of this code.



**REVISIONS**

NO.	DATE	DESCRIPTION
1	11/20/2018	Initial Release
2	07/01/2019	Revised
3	11/14/2020	Revised
4	07/15/2021	Revised
5	07/15/2022	Revised
6	07/15/2023	Revised
7	07/15/2024	Revised

**PERMIT SET REV**

**Fisher Hangars**

Project Name: \_\_\_\_\_

Date: 07/17/2024

Drawn By: \_\_\_\_\_

Checked By: \_\_\_\_\_

Approved By: \_\_\_\_\_

Scale: \_\_\_\_\_

NO.	DATE	DESCRIPTION
1	11/20/2018	Initial Release
2	07/01/2019	Revised
3	11/14/2020	Revised
4	07/15/2021	Revised
5	07/15/2022	Revised
6	07/15/2023	Revised
7	07/15/2024	Revised

60277.36 The building shall be constructed in accordance with the provisions of this code.

C:\Users\jason\Documents\Fisher\_Hangar\_11\11\_13\_2024\FISHER\_HANGAR.dwg

**ABBREVIATIONS**

Table with 2 columns: Abbreviation and Full Name. Includes entries for A (Asphalt), B (Block), C (Cement), D (Duct), E (Electrical), F (Fire), G (Grade), H (Hatch), I (Insulation), J (Joint), K (Kiln), L (Lumber), M (Metal), N (Nail), O (Opening), P (Paving), R (Roof), S (Structural), T (Tie), U (Utility), V (Vent), W (Wall), X (X-ray), Y (Yield), Z (Zone).

**SKAGIT COUNTY MUNICIPAL CODE**

1. General Purpose: This code is intended to provide a framework for the development and use of land within the jurisdiction of Skagit County.
2. Purpose: The purpose of this code is to establish a comprehensive set of rules and regulations that will guide the development and use of land in a manner that is consistent with the public health, safety, and general welfare of the community.
3. Authority: This code is adopted by the Skagit County Board of Commissioners under the authority granted by the State of Washington.
4. Effect: This code shall become effective on the date of its adoption.

1. **2015 International Fire Code**
2. **2015 International Building Code**
3. **2015 International Plumbing Code**
4. **2015 International Mechanical Code**
5. **2015 International Electrical Code**
6. **2015 International Energy Conservation Code**
7. **2015 International Existing Building Code**
8. **2015 International Fire Marshals Association Code of Practice**
9. **2015 International Fire Safety Code**
10. **2015 International Fire Department Code**
11. **2015 International Fire Alarm Code**
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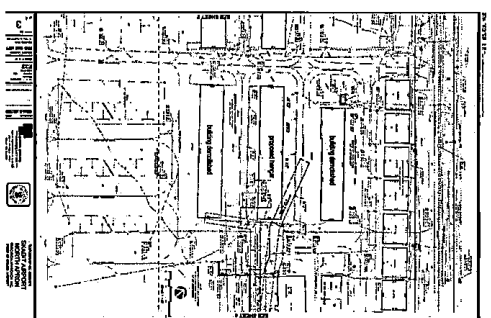


**PERMIT SET REVI**  
 Project Name: Fisher Hangars  
 Project Address: Skagit Airport  
 Project Date: 12/17/2023  
 Reviewer: [Signature]

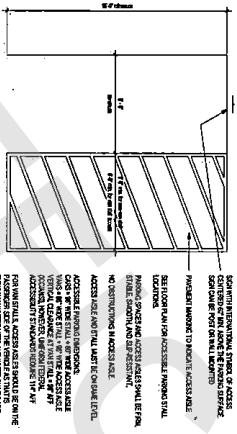
**CODE SUMMARIES**

Code Title	Section	Section Number	Section Description
International Fire Code	101	101.01	General Provisions
International Building Code	102	102.01	General Provisions
International Plumbing Code	103	103.01	General Provisions
International Mechanical Code	104	104.01	General Provisions
International Electrical Code	105	105.01	General Provisions
International Energy Conservation Code	106	106.01	General Provisions
International Existing Building Code	107	107.01	General Provisions
International Fire Marshals Association Code of Practice	108	108.01	General Provisions
International Fire Safety Code	109	109.01	General Provisions
International Fire Department Code	110	110.01	General Provisions
International Fire Alarm Code	111	111.01	General Provisions
International Fire Sprinkler Code	112	112.01	General Provisions
International Fire Alarm and Signaling Code	113	113.01	General Provisions

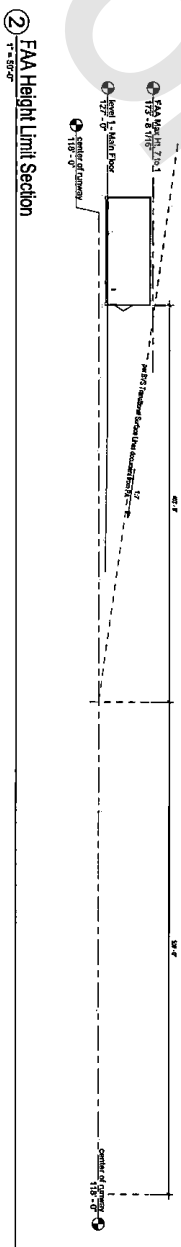
**A003**  
 10/20/2024 3:58 PM



4 Existing Conditions Plan  
1" = 100'-0"



3 Barrier-Free Parking Stall  
1/2" = 1'-0"



2 FAA Height Limit Section  
1" = 50'-0"

- Site Plan Note:**
1. SITE PLAN APPROVAL IS INTENDED TO ELUCLARIFY THE GENERAL SITE PLAN TO ELUCLARIFY THE GENERAL SITE PLAN AND TO ELUCLARIFY THE GENERAL SITE PLAN AND TO ELUCLARIFY THE GENERAL SITE PLAN.
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UNDERWOOD  
ARCHITECTURE LLC  
1000 4th Street  
Baltimore, Maryland 21202



Project name:  
**Fisher Hangars**

Project number:  
**A100**

NO.	DATE	REVISION

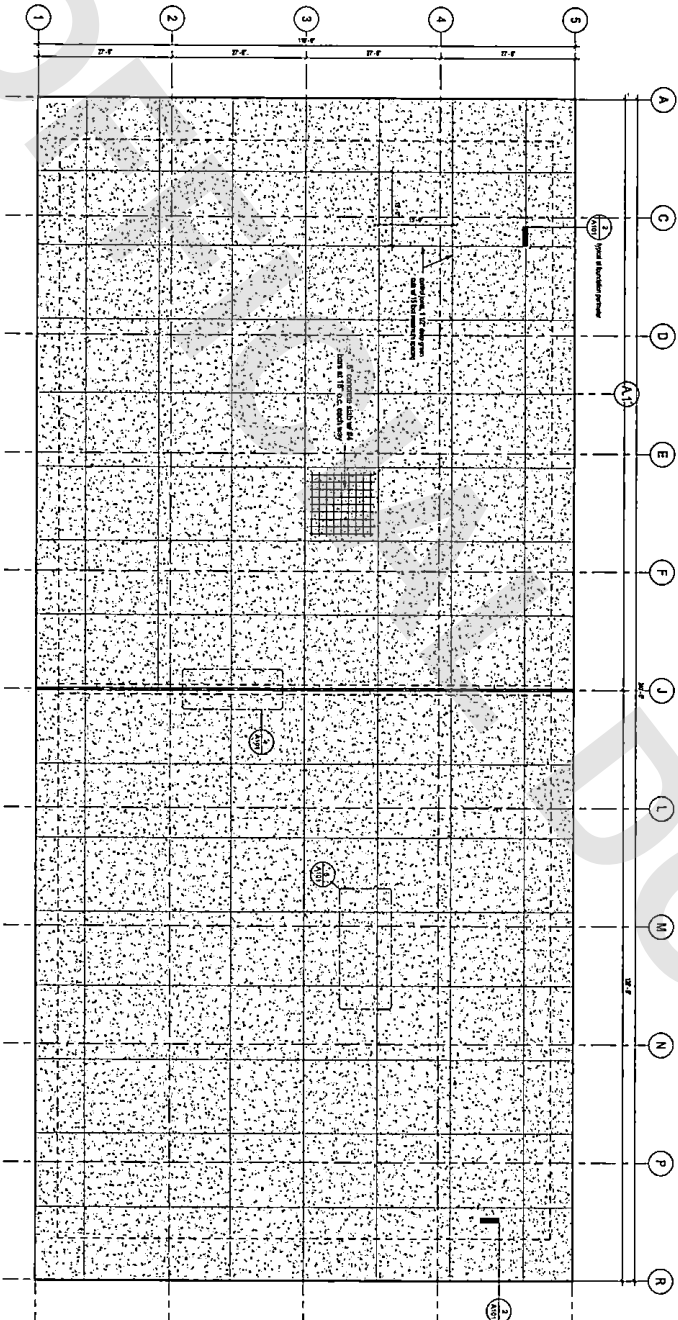
ARCHITECTURAL  
SITE PLAN

A100  
SHEET 13 OF 17

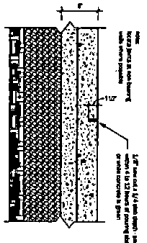
UNDERWOOD ARCHITECTURE

C:\Users\james\Documents\Fisher Hangar\_Cover\_TED\MYCHECKTWO6.rvt

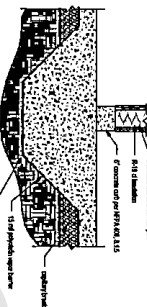
1 Overall Floor Plan  
 1/8" = 1'-0"



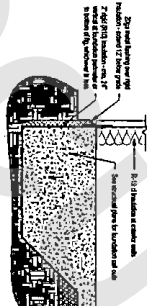
5 Control Joint Detail  
 1/8" = 1'-0"



4 Foundation Detail at 2-hour Wall  
 3/4" = 1'-0"



2 Perimeter Insulation Detail  
 3/4" = 1'-0"



**UNDERWOOD**  
 ARCHITECTS INC.  
 1000 0th Street  
 Broomfield, CO 80020

1. COORDINATE WITH ARCHITECT FOR ALL FOUNDATION AND STRUCTURAL ELEMENTS.
2. FABRICATE ALL FOUNDATION AND STRUCTURAL ELEMENTS IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
3. SET LATERAL SHEET PILING AND OTHER PERIMETER DETAILS.



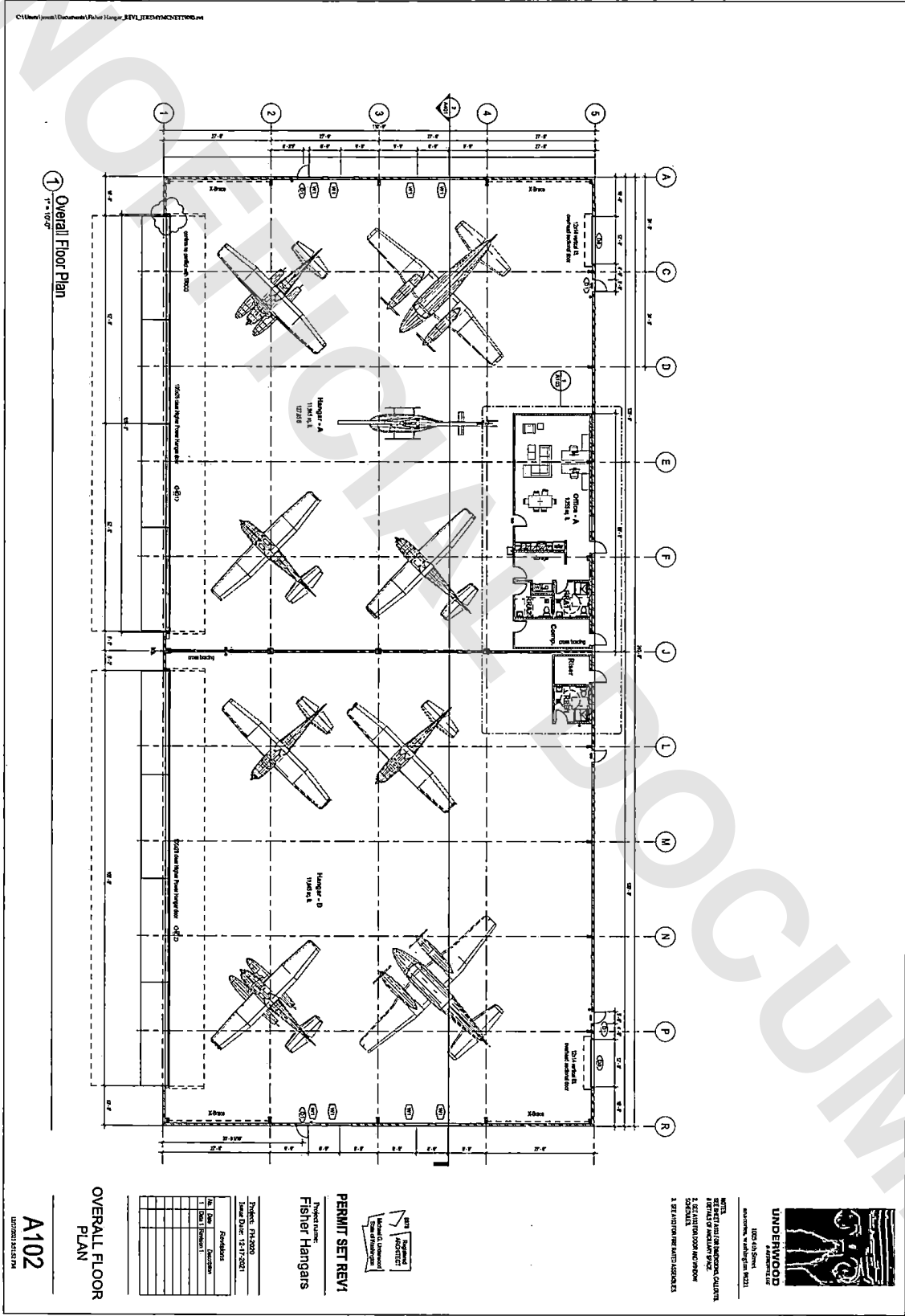
**PERMIT SET REVI**  
 Project Name:  
 Fisher Hangars

Project No.: 24-000  
 Issue Date: 3/26/2024

No.	Description	Date

**FOUNDATION PLAN & DETAILS**

**A101**  
 3/26/2024



Overall Floor Plan  
 1/4" = 10'-0"

OVERALL FLOOR  
 PLAN

NO.	DATE	DESCRIPTION
1	10/17/2024	ISSUED FOR PERMIT
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT: F17-2000  
 DATE: 10/17/2024  
 PROJECT NAME:  
 Fisher Hangars



PERMIT SET REVI



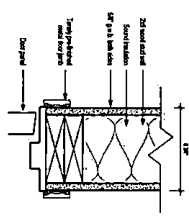
UNDERWOOD  
 ARCHITECTS, INC.

1020 S. STATE STREET  
 SUITE 200  
 TAMPA, FL 33601  
 TEL: 813.241.1111  
 WWW.UAFLA.COM

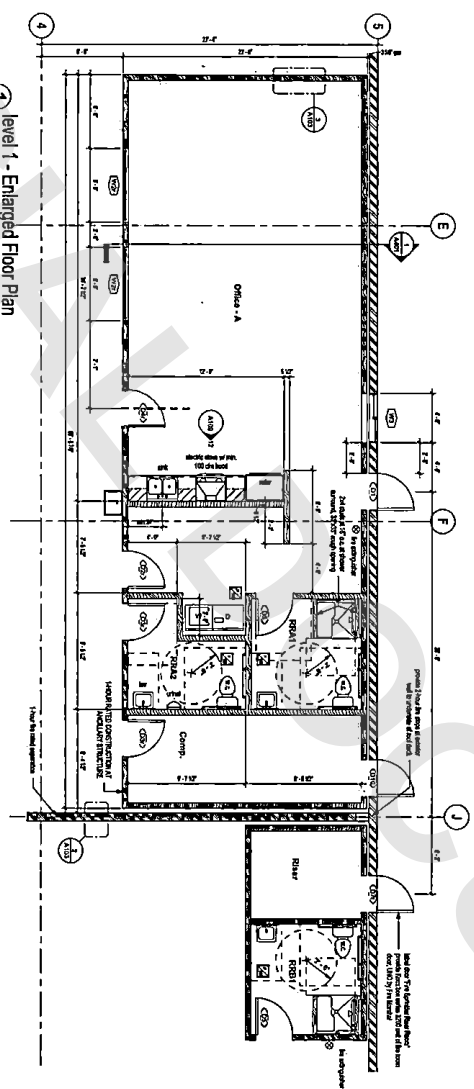
NOTES:  
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.  
 2. SEE ALL OTHER SHEETS AND SPECIFICATIONS.  
 3. SEE ALL OTHER SHEETS AND SPECIFICATIONS.

A102  
 UNDERWOOD ARCHITECTS, INC.

**4** Int. Door Jamb  
 3" x 1 1/2"



**1** Level 1 - Enlarged Floor Plan  
 1/8\"/>



<p><b>GYPSUM WALLBOARD, STEEL STUDS</b></p> <p>BASED UPON 1/2\"/&gt; </p>	<p><b>2 1/2\"/&gt; </b></p>
<p><b>GYPSUM WALLBOARD, WOOD STUDS</b></p> <p>ONE LAYER 5/8\"/&gt; </p>	<p><b>3 1/2\"/&gt; </b></p>

Type	Width	Height	Count	Window Schedule	Comments
W1	6'-0"	6'-0"	1	1	EXISTING WINDOW
W2	6'-0"	6'-0"	2	2	1/2\"/>
W3	4'-0"	5'-0"	2	3 & 4	EXISTING WINDOW WITH 2\"/>

Type	Location	Width	Height	Finish	Comments
D1	Office A	3'-0"	7'-0"	1	EXISTING DOOR
D2	Office B	3'-0"	7'-0"	1	EXISTING DOOR
D3	Office C	3'-0"	7'-0"	1	EXISTING DOOR

**PERMIT SET REV**

**Fisher Hangars**

**ENLARGED FLOOR PLAN, SCHEDULES, & DETAILS**

**A103**

**UNDERWOOD ARCHITECTS**

**1000 6th Street**  
 Berkeley, CA 94710

**10/18/2024**

**Project:** FISHER HANGARS  
**Project Date:** 02/17/2023

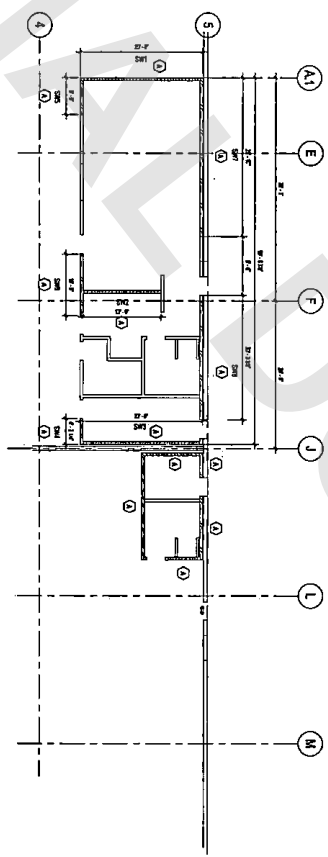
**Legend:**  
 [Symbol] EXISTING FINISH TO REMAIN  
 [Symbol] SET ASIDE FOR PERMITS  
 [Symbol] 2024 SET ASIDE FOR PERMITS  
 [Symbol] 2023 PERMITS WALLS  
 [Symbol] PERMITS WALLS  
 [Symbol] PERMITS WALLS

**Notes:**  
 1. ALL DIMENSIONS ARE TO FACE OF STUD WALLS.  
 2. ALL INTERIOR WALLS SHALL BE 5/8\"/>



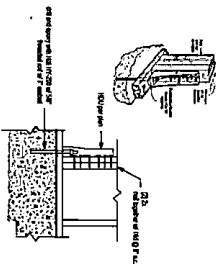
C:\Users\jperm\Documents\Fisher\_Hangar\_REVISED\FISHNETR00.rvt

1 Level 1 - Lateral Plan  
 1/8" = 1'-0"

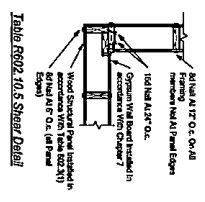


Grid	Material	Thickness	Finish	Notes
①	1/2" Gypsum Board	1/2"	Acoustic	See Section 05200-010 for details

3 Typical HD Detail  
 1/2" = 1'-0"



2 Outside Corner Detail  
 1/2" = 1'-0"



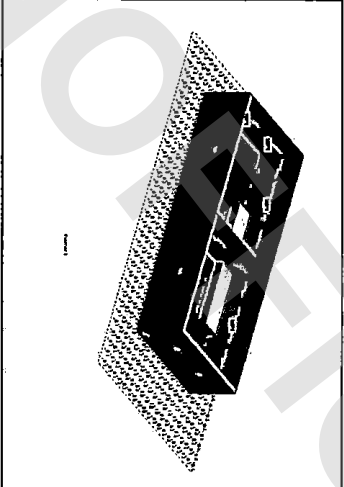
PERMIT SET REV1  
 Project name:  
 Fisher Hangars

NO.	DATE	DESCRIPTION

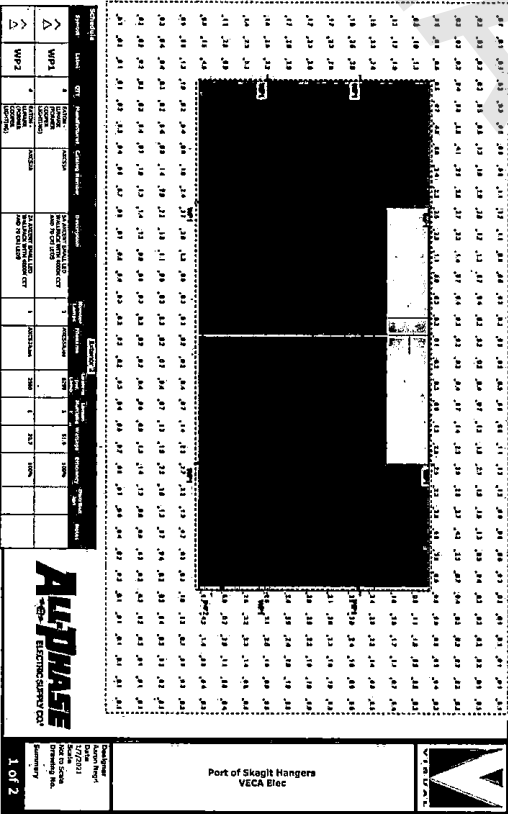
INTERIOR  
 LATERAL PLAN &  
 DETAILS

A105  
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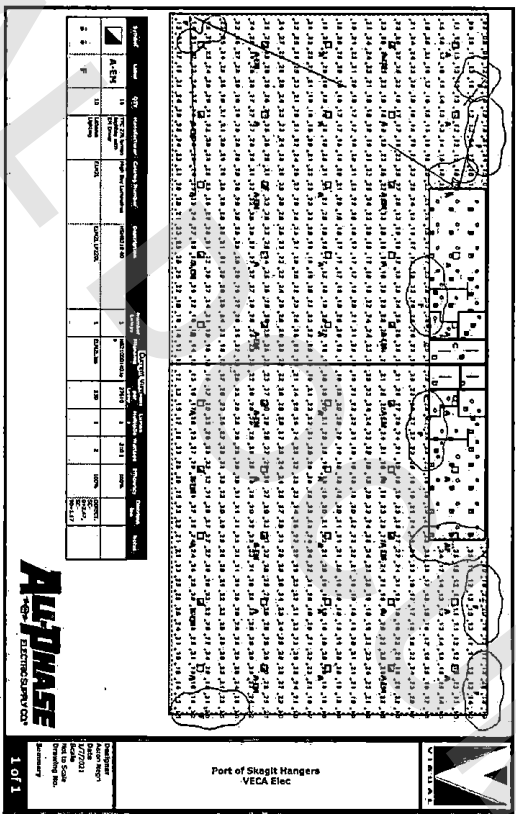
C:\Users\jmm\Documents\Fisher Hangers\_REV1\_1024\FISHNET200.plt



Port of Skagit Hangers  
VECA Elec



Port of Skagit Hangers  
VECA Elec



Port of Skagit Hangers  
VECA Elec

**PERMIT SET REV1**  
 Project name:  
 Fisher Hangers

Project No: 202410180024  
 Issue Date: 10/17/2024

Revisions

No.	Date	Description

**UNDERWOOD**  
 1000 6th Street  
 Astoria, OR 97103  
 Phone: 503.325.1111  
 Fax: 503.325.1112  
 www.underwood.com

**Lighting Plans**

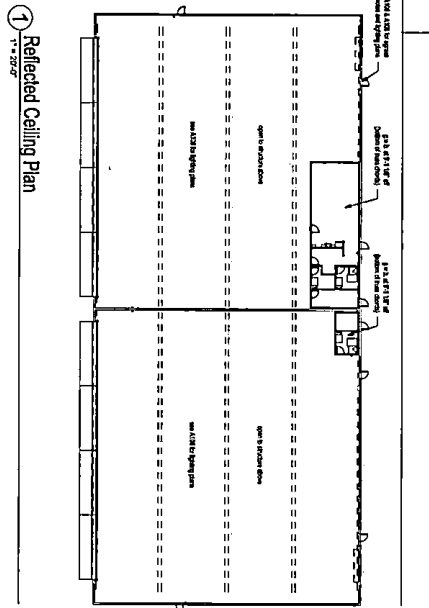
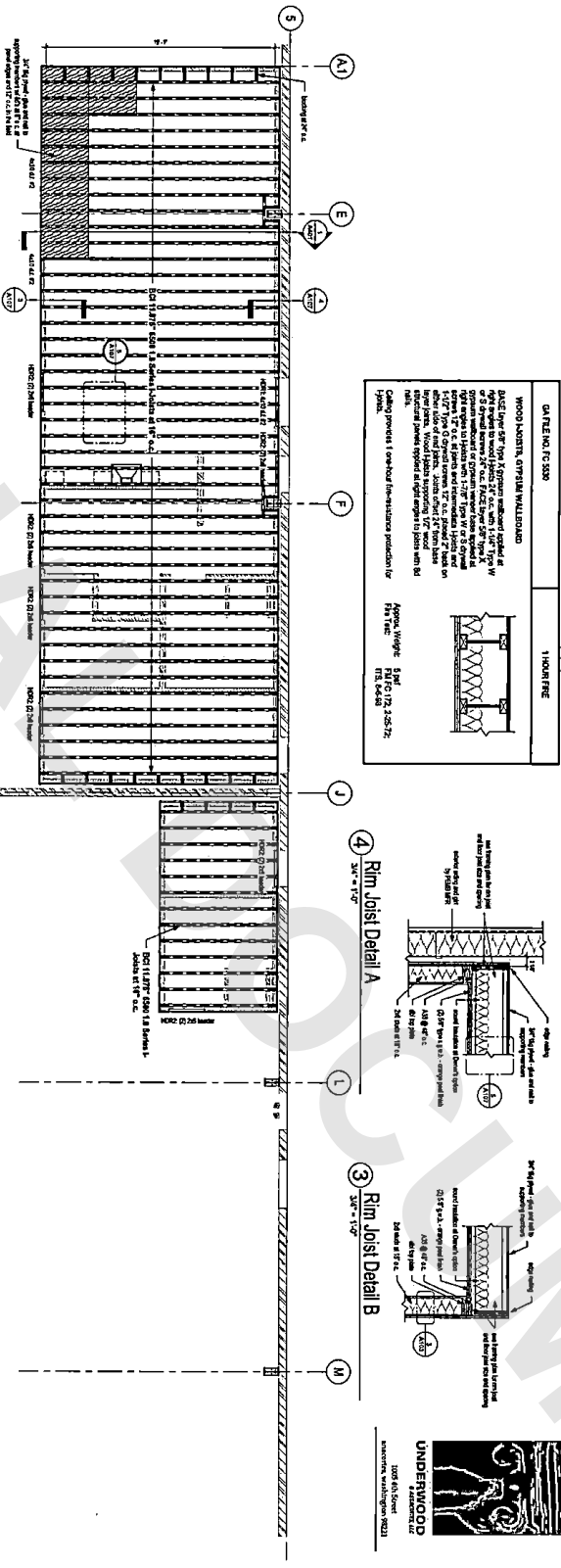
**A106**  
 10/21/24 10:51 AM

**ALPHA**  
 DISTRIBUTION CO.

**1 of 1**

C:\Users\jmm\Documents\Fisher\_Hangw\_REV1\2024\FRAMEWORK.rvt

**2** level 1 - Ceiling Framing Plan  
S.C. = 1/8" = 1'-0"



**REFLECTED  
CEILING PLAN,  
CEILING FRAMING  
PLAN, & DETAILS**

**A107**  
LIZBETH ALBERTSON

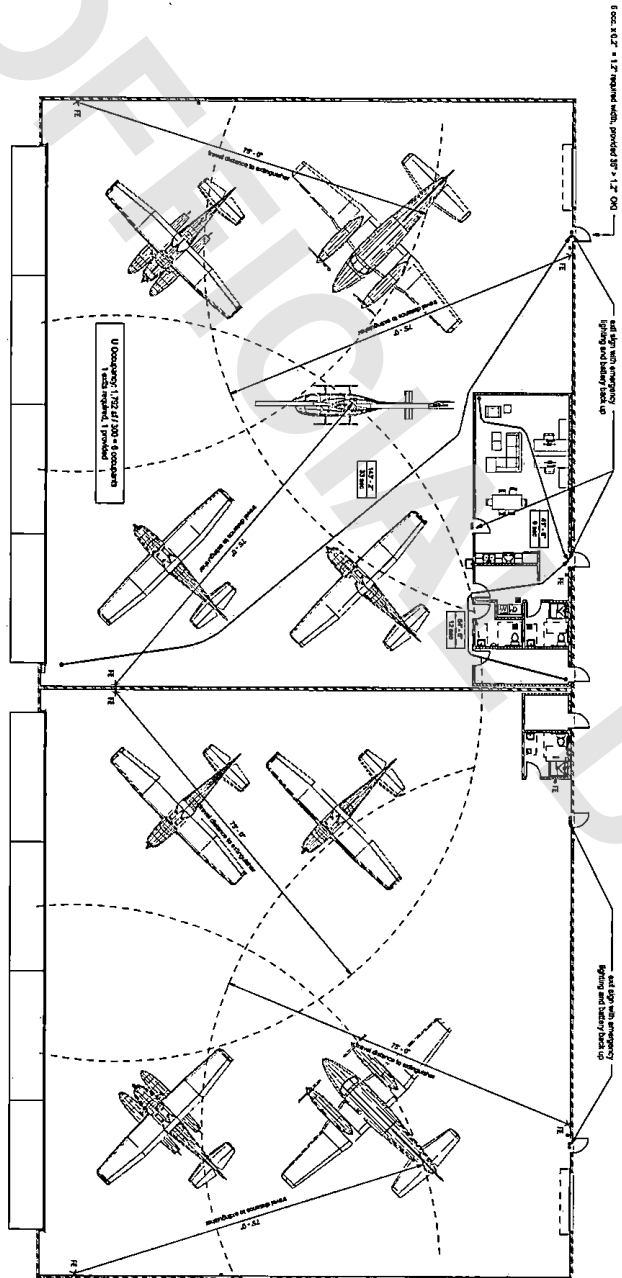
**PERMIT SET REV1**  
Project Name:  
Fisher Hangars

Project:	F11-2020
Issue Date:	12-11-2021
Rev:	1
By:	Architect
Checked:	
Approved:	



C:\Users\j... Documents\Fisher\_Hangar\_REV\_1720-FYH-CSET7000.rvt

Overall Floor Plan  
 1/8" = 1'-0"



Plan of Truss Schedule

Level	Length	Spaced	Time
Level 1 - MAIN FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 2 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 3 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 4 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 5 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 6 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 7 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 8 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 9 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 10 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 11 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 12 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 13 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 14 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 15 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 16 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 17 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 18 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 19 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 20 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 21 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 22 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 23 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 24 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 25 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 26 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 27 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 28 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 29 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 30 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 31 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 32 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 33 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 34 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 35 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 36 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 37 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 38 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 39 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 40 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 41 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 42 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 43 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 44 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 45 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 46 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 47 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 48 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 49 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 50 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 51 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 52 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 53 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
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Level 55 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
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Level 57 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 58 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 59 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 60 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 61 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 62 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 63 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 64 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 65 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 66 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 67 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 68 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 69 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 70 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 71 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 72 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 73 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 74 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 75 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
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Level 78 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 79 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 80 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 81 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 82 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 83 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 84 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 85 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 86 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 87 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 88 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 89 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 90 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 91 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 92 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 93 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 94 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 95 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 96 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 97 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 98 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 99 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS
Level 100 - ROOF FLOOR	61' - 0 5/8"	12' Spaced	3 HRS

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE CONSTRUCTION OF THE PROJECT.
2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC UTILITIES AT ALL TIMES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES ON THE SITE.
4. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A SAFE AND SOUND CONDITION AT ALL TIMES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PLANTS AND TREES ON THE SITE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ANIMALS ON THE SITE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING HISTORICAL AND CULTURAL RESOURCES ON THE SITE.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MONUMENTS AND MEMORIALS ON THE SITE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDMARKS AND MONUMENTS ON THE SITE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING NATURAL RESOURCES ON THE SITE.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING WILDLIFE AND FISH ON THE SITE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PLANTS AND TREES ON THE SITE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ANIMALS ON THE SITE.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING HISTORICAL AND CULTURAL RESOURCES ON THE SITE.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MONUMENTS AND MEMORIALS ON THE SITE.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDMARKS AND MONUMENTS ON THE SITE.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING NATURAL RESOURCES ON THE SITE.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING WILDLIFE AND FISH ON THE SITE.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PLANTS AND TREES ON THE SITE.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ANIMALS ON THE SITE.

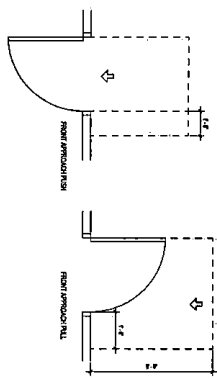


PERMIT SET REVI  
 Project name:  
**Fisher Hangars**

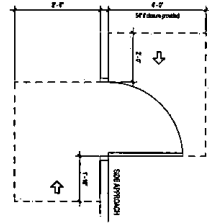
Author:	FTH-2023
Issue Date:	03/17/2023
Revised:	
By:	
Date:	

**A108**  
 L170725.104.104.PLT

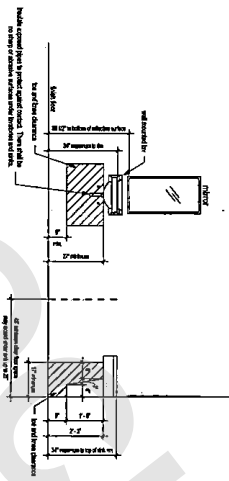
**LIFE SAFETY &  
 EMERGENCY  
 EGRESS PLAN**



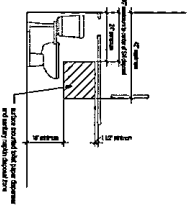
4 Typical Door Clearance  
 1/2" = 1'-0"



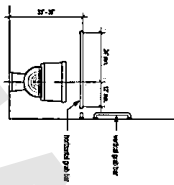
3 ADA Lavatory Clearances  
 1/2" = 1'-0"



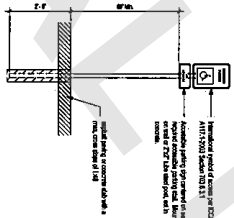
2 ADA Fire Extinguisher  
 1/2" = 1'-0"



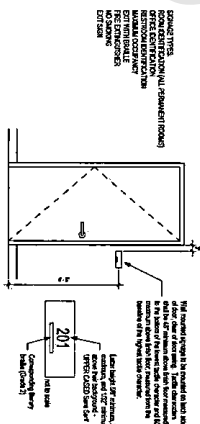
8 Toilet Side Elev - Fixtures  
 1/2" = 1'-0"



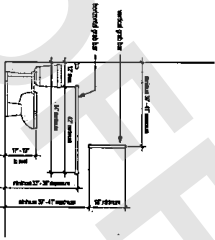
7 Toilet Rear Elev - Grab Bars  
 1/2" = 1'-0"



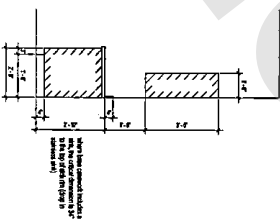
6 ADA Parking Sign  
 1/2" = 1'-0"



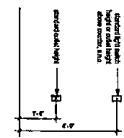
5 Typical Room Signage Mounting  
 1/2" = 1'-0"



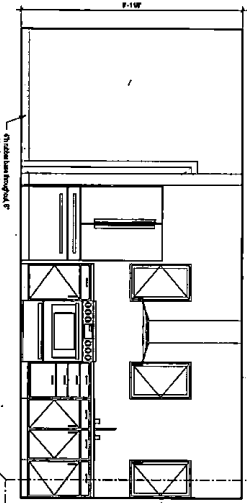
9 Toilet Side Elev - Grab Bars  
 1/2" = 1'-0"



1 Typ. Casework Section  
 1/2" = 1'-0"



1 ADA Electrical  
 1/2" = 1'-0"



12 Interior Elevation at Kitchenette  
 1/2" = 1'-0"



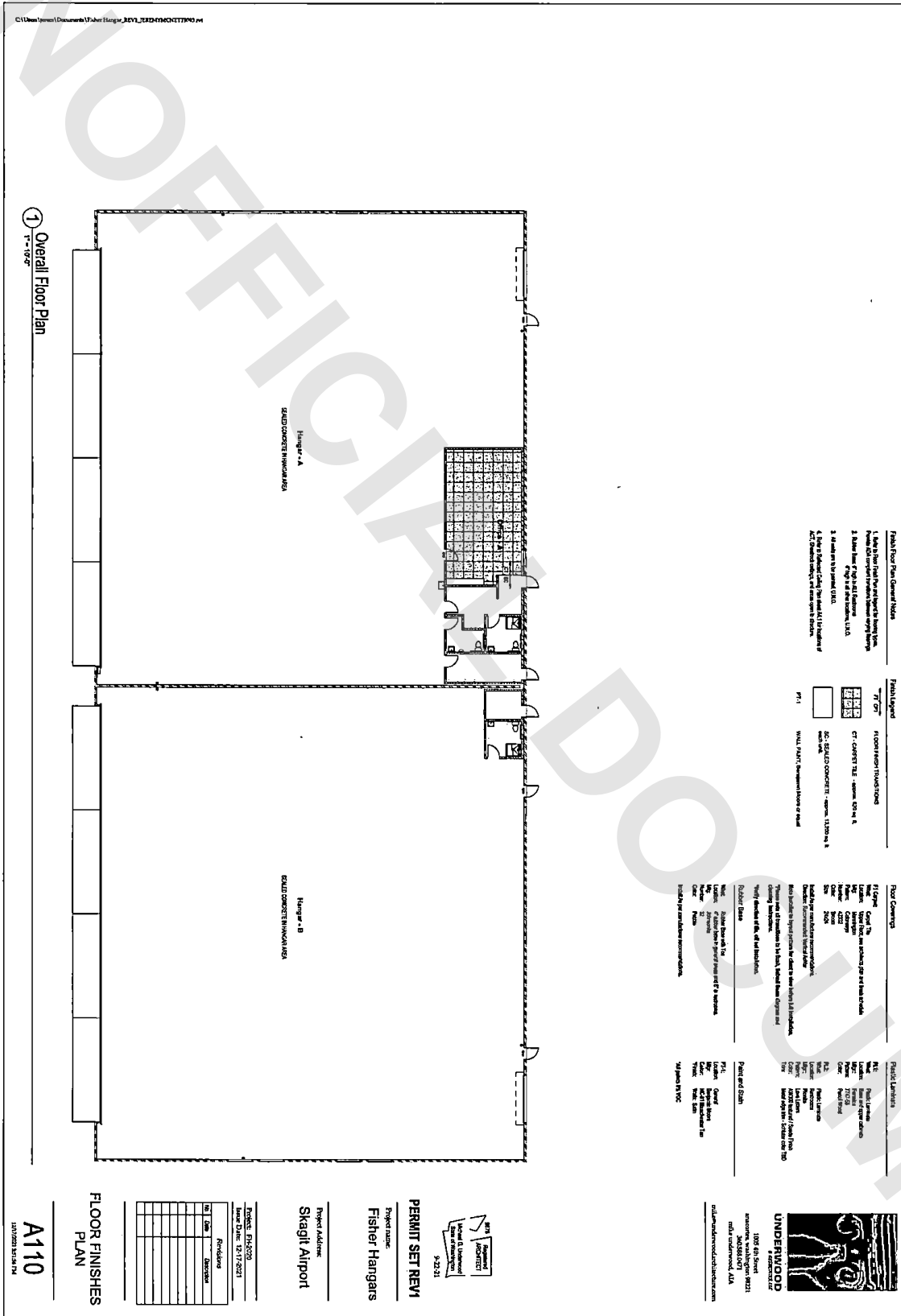
**PERMIT SET REV**  
 Project name:  
 Fisher Hangars

Checked by:  
 Richard C. Edmunds

Issue Date: 12/17/2021  
 Revision:  
 No. Date Description

**A109**  
 12/22/2023 10:54 AM

**ADA DETAILS & INTERIOR ELEVATIONS**



- Finish Floor General Notes**
1. Refer to floor plan and legend for finish type. Finish (04) concrete finish - smooth, except where noted.
  2. Refer to floor plan for all locations.
  3. All areas not to be finished (04).
  4. Refer to Schedule 'C' for all locations of finish type and quantity of finish type.

**Finish Legend**

7" CC	11" FOOT THICK CONCRETE
CT	CONCRETE T&E - 4" MINIMUM 4" THICK
CC	SLAB ON GRADE CONCRETE - 4" MINIMUM 4" THICK
CC	SLAB ON GRADE CONCRETE - 11" THICK 4" THICK
PT-1	WALL MOUNT BRACKET HANGAR OR HANGAR

**Floor Coverings**

Refer to floor plan for locations of floor coverings. Refer to Schedule 'C' for all locations of floor covering type and quantity of floor covering type.

Refer to Schedule 'C' for all locations of floor covering type and quantity of floor covering type.

Refer to Schedule 'C' for all locations of floor covering type and quantity of floor covering type.

**Paint and Stain**

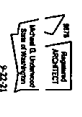
Refer to floor plan for locations of paint and stain. Refer to Schedule 'C' for all locations of paint and stain type and quantity of paint and stain type.

Refer to Schedule 'C' for all locations of paint and stain type and quantity of paint and stain type.

Refer to Schedule 'C' for all locations of paint and stain type and quantity of paint and stain type.



**UNDERWOOD ARCHITECTURE**  
 1080 8th Street  
 Everett, WA 98201  
 phone: 425.336.6677  
 email: info@underwoodarchitect.com



**PERMIT SET REV1**  
 Project name:  
 Fisher Hangars

Project Address:  
 Skagit Airport

Project Number:  
 24-00000

Issue Date:  
 10/17/2024

**FLOOR FINISHES PLAN**

**A110**  
 10/18/2024 9:24 AM

C:\Users\jason\Documents\Fisher\_REVISED\DWG\101124.dwg

**1 South Elevation**  
 1" = 16'-0"

**2 West Elevation**  
 1" = 16'-0"

**3 East Elevation**  
 1" = 16'-0"

**4 North Elevation**  
 1" = 16'-0"

**5 Southwest Perspective**

**6 Northwest Perspective**

**7 Northeast Perspective**

**8 Southeast Perspective**

**PERMIT SET REV1**

Project Title:  
 Fisher Hangars

DATE: 10/17/2024

Author: jason

Reviewer: jason

NO: 101124

PROJECT NO: 202410180024

**UNDERWOOD**  
 ARCHITECTS, LLC  
 1000 6th Street  
 Birmingham, AL 35203  
 (205) 251-1222

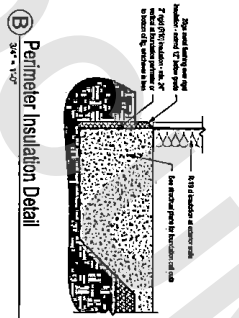
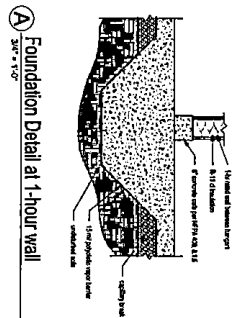
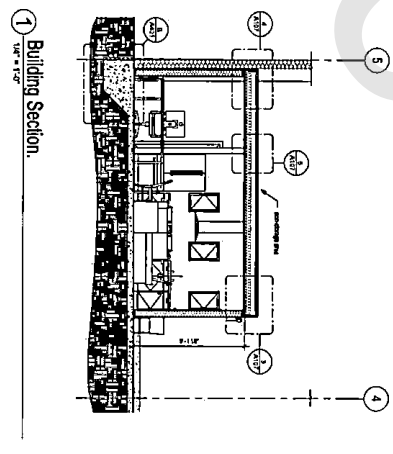
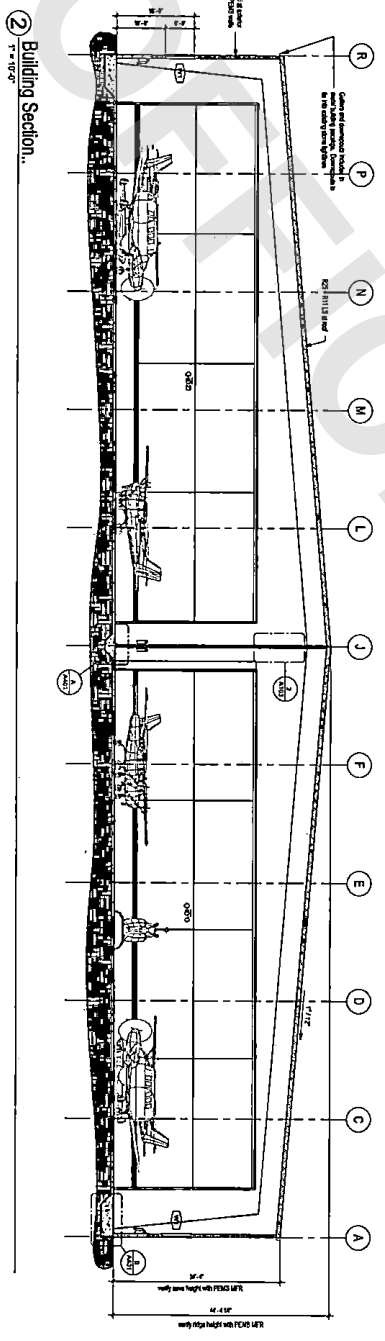
NOTE: See initial Building Change for Building material details, dimensions, materials, etc. This building envelope will meet or Code requirements.

**BUILDING ELEVATIONS**

**A201**

10/17/2024 10:18:24 AM

C:\Users\jacob.Douglas\Fisher\_Hanger\_REV\_102324\FACSET2990.rvt



**UNDERWOOD**  
 ARCHITECTS, INC.  
 1809 14th Street, NW  
 Atlanta, Georgia 30333

NOTES:  
 1. SEE PERMITTING AGENCY FOR ALL REGULATORY REQUIREMENTS.  
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
 3. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT.  
 4. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

1/8" = 1'-0"  
 PERMIT SET REV1  
 10/18/2024

Project Name:  
**Fisher Hangars**

DATE	DESCRIPTION	BY	CHKD
10/18/2024	PERMIT SET REV1	JACOB DOUGLAS	

**BUILDING SECTIONS**

**A401**  
 10/18/2024 10:20 AM



DRAWING OFFICIAL

**GENERAL NOTES**

GENERAL NOTES:  
1. GENERAL NOTES TO BE A MINIMUM OF 12 POINTS AND SHOULD BE ON THE STANDARD SIZE AND WEIGHT OF LETTER AND NUMBER. NOTES SHOULD BE ON THE STANDARD WEIGHT AND LENGTH OF THE INTERNATIONAL BUSINESS CODE. NOTES SHOULD BE ON THE STANDARD WEIGHT AND LENGTH OF THE INTERNATIONAL BUSINESS CODE. NOTES SHOULD BE ON THE STANDARD WEIGHT AND LENGTH OF THE INTERNATIONAL BUSINESS CODE.

**SPECIAL INSPECTIONS**

**SPECIAL INSPECTION SCHEDULE**

INSPECTION TYPE	COMMENTS	APPROVED	INSPECTION DATES	BY OFFICER
GENERAL INSPECTION				
FOUNDATION		X		
CONCRETE		X		
STEEL		X		
MECHANICAL		X		
ELECTRICAL		X		
PLUMBING		X		
PARTIAL FINISH				
FINAL		X		



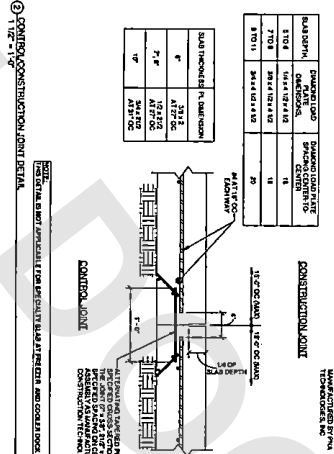
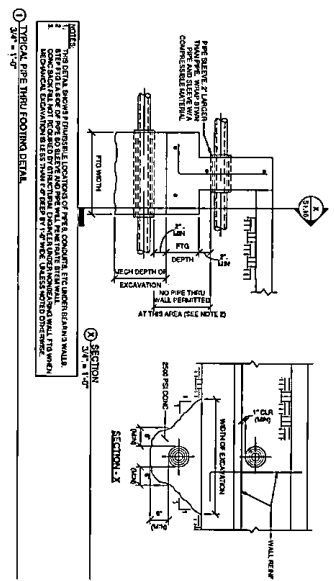
**UNDERWOOD**  
ENGINEERING  
1000 Main Street  
Masonville, NC 28756

**Project Status**  
Project name:  
**Fisher Hangars**

Project: 21025  
Issue Date: 2021-11-13

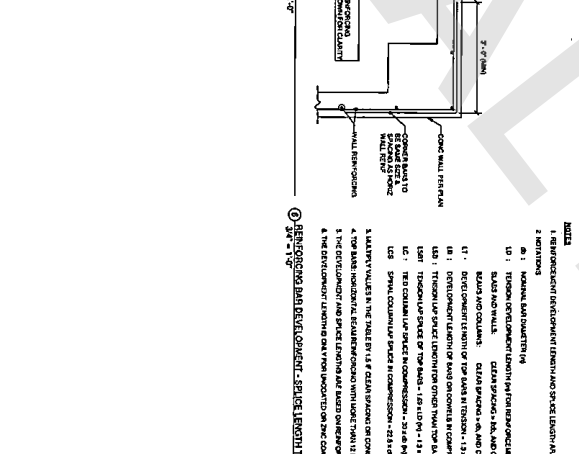
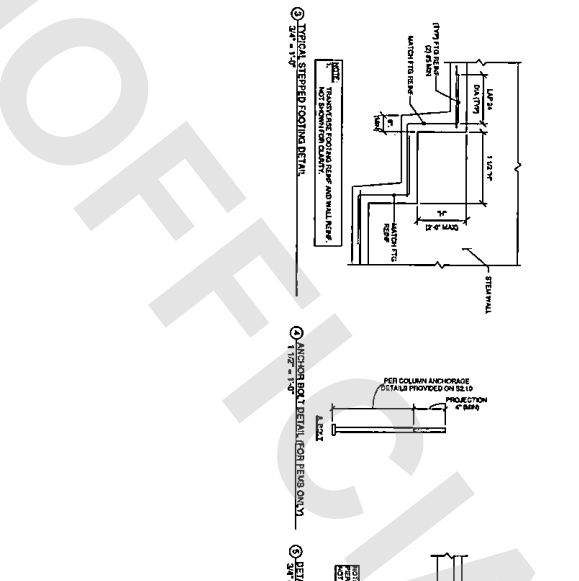
No.	Date	Revision

**GENERAL NOTES AND SPECIAL INSPECTIONS**  
**\$1.00**  
MASONVILLE



TABLES TO THE RIGHT APPLICABLE TO DEVELOPMENT LENGTHS FOR CONCRETE AND REINFORCEMENT.

SLAB THICKNESS (IN)	CONCRETE CLASSIFICATION		REINFORCEMENT CLASSIFICATION	
	MINIMUM	MAXIMUM	MINIMUM	MAXIMUM
4"	3000	4000	60	72
5"	3000	4000	60	72
6"	3000	4000	60	72
8"	3000	4000	60	72
10"	3000	4000	60	72
12"	3000	4000	60	72



TABLES TO THE RIGHT APPLICABLE TO DEVELOPMENT LENGTHS FOR CONCRETE AND REINFORCEMENT.

SLAB THICKNESS (IN)	CONCRETE CLASSIFICATION		REINFORCEMENT CLASSIFICATION	
	MINIMUM	MAXIMUM	MINIMUM	MAXIMUM
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8"	3000	4000	60	72
10"	3000	4000	60	72
12"	3000	4000	60	72

**Project Status**  
Project Name: Fisher Hangars

Drawings: 2153  
Issue Date: 2023-12-15

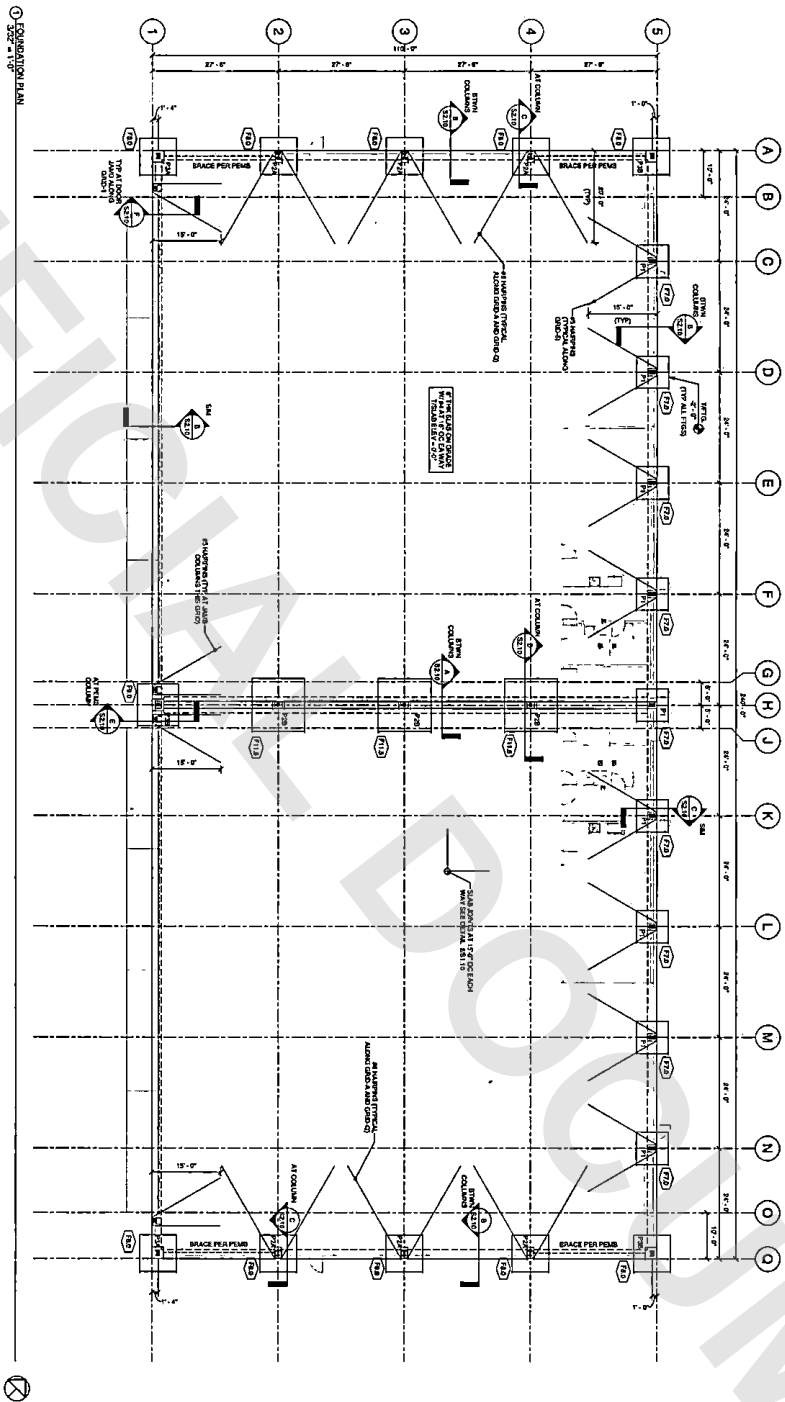
No.	Date	Description

**Project Status**  
Project Name: Fisher Hangars

Drawings: 2153  
Issue Date: 2023-12-15

**S1.10**  
FOUNDATION





① FOUNDATION PLAN  
SCALE = 1/8" = 1'-0"

NO.	DESCRIPTION	DATE	BY
001	FOUNDATION PLAN	10/18/2024	MM

② ANCHOR AND ANCHORAGE SCHEDULE  
SCALE = 1/8" = 1'-0"

NO.	DESCRIPTION	DATE	BY
001	ANCHOR AND ANCHORAGE SCHEDULE	10/18/2024	MM

- FOUNDATION NOTES AT FIELD DRAWINGS
1. FOUNDATION NOTES AT FIELD DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE FOUNDATION PLAN AND ANCHOR AND ANCHORAGE SCHEDULE.
  2. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL CONCRETE CODE (ACI 308).
  3. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL CONCRETE CODE (ACI 308).
  4. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL CONCRETE CODE (ACI 308).
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  7. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL CONCRETE CODE (ACI 308).

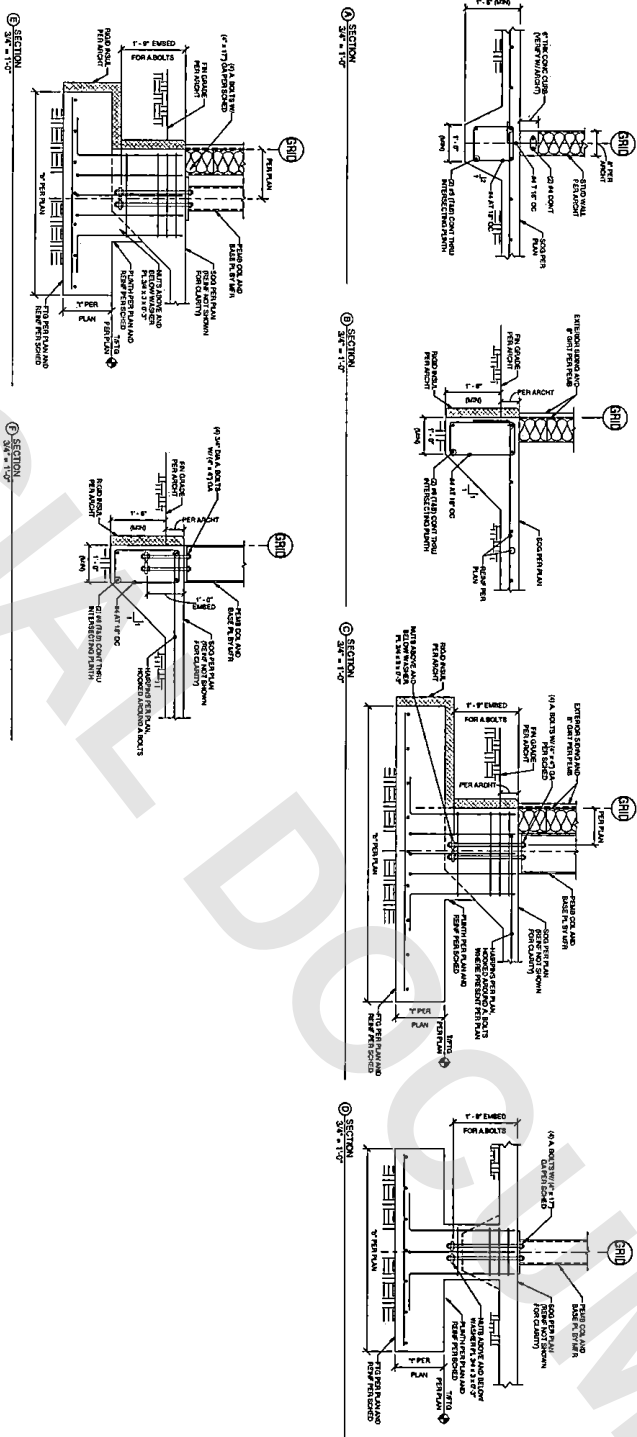
Project Status

Project Name: Fisher Hangars

NO.	DESCRIPTION	DATE	BY
001	FOUNDATION PLAN	10/18/2024	MM



**\$2.00**  
1/8" = 1'-0"



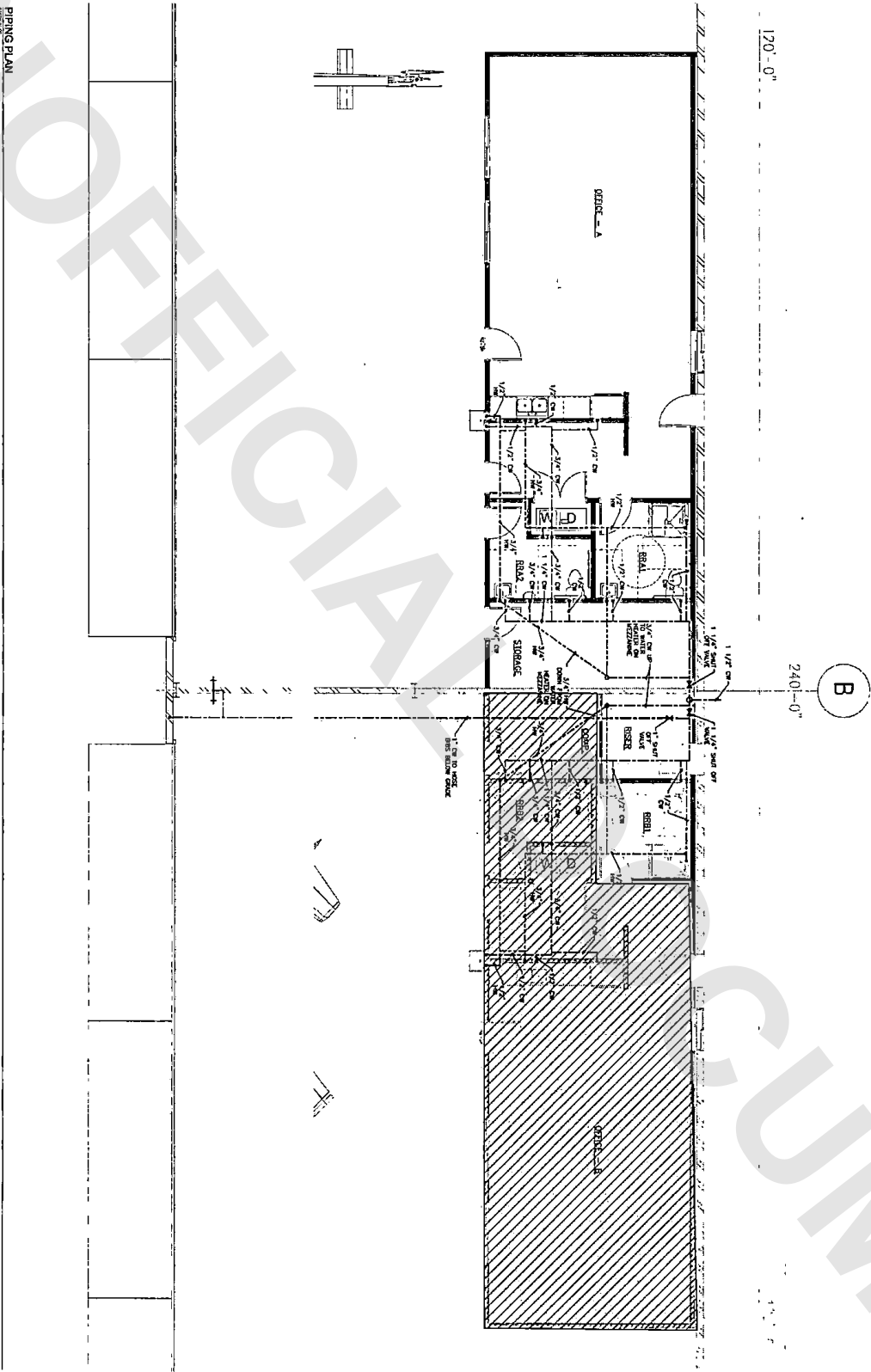
**Project Status**  
 Project Name:  
 Fisher Hangars

Project No.	21024	
Issue Date	2021-12-16	
Revision		
NO.	DATE	DESCRIPTION

**FOUNDATION SECTIONS AND DETAILS**

**S2.10**  
 10/18/2024

PIPING PLAN  
 SHEET 12



B

120'-0"

240'-0"

**ATRICO**  
 GENERAL CONTRACTOR



FISHER HANGER

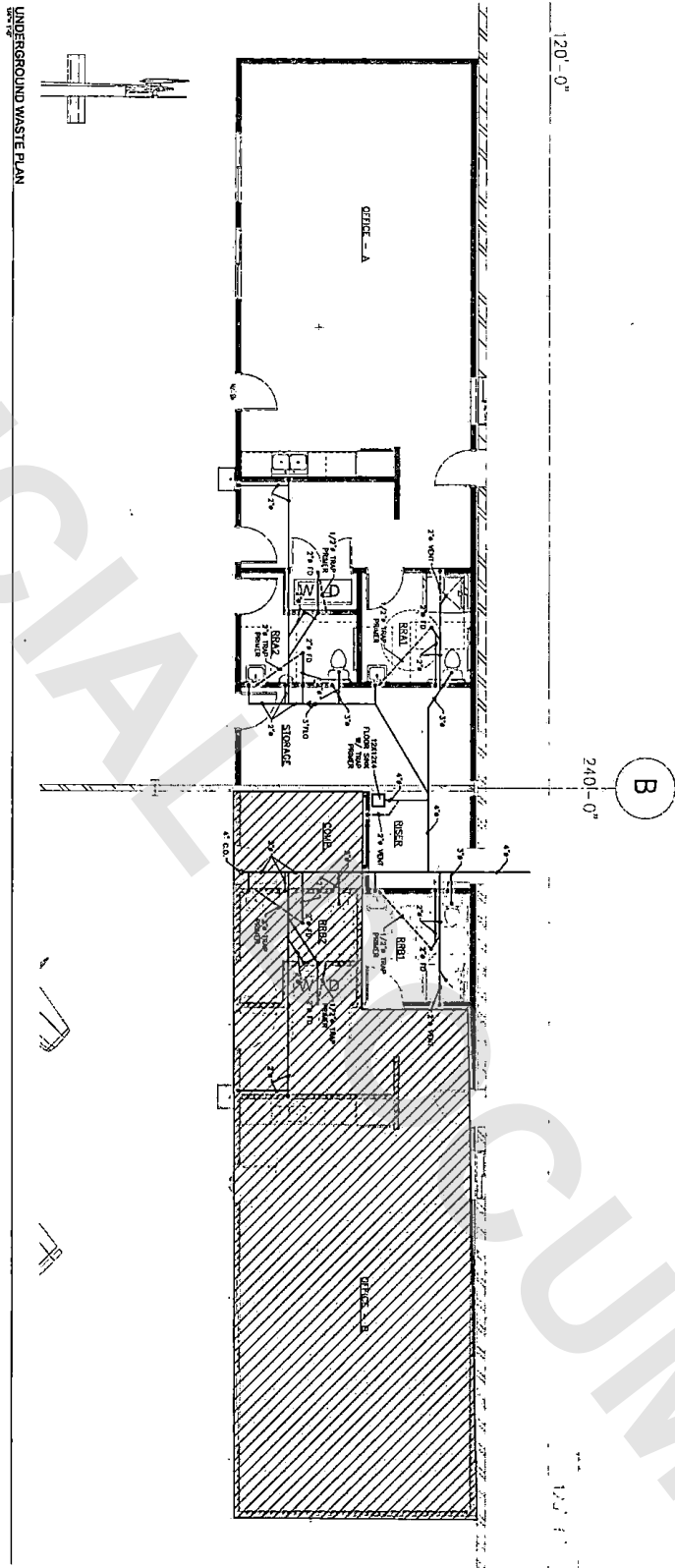
PROJECT CONTACT:

REVISIONS:

PIPING PLAN

22 JANUARY 2024

P-1.1.1



UNDERGROUND WASTE PLAN

B  
 240'-0"

120'-0"

**ATRICO**  
 GENERAL CONTRACTOR  
 10000 W. 11th Ave., Suite 100  
 Denver, CO 80202  
 303.751.1000



**RED BOG FISHING**  
 10000 W. 11th Ave., Suite 100  
 Denver, CO 80202  
 303.751.1000

FISHER HANGER

PROJECT CONTACT:

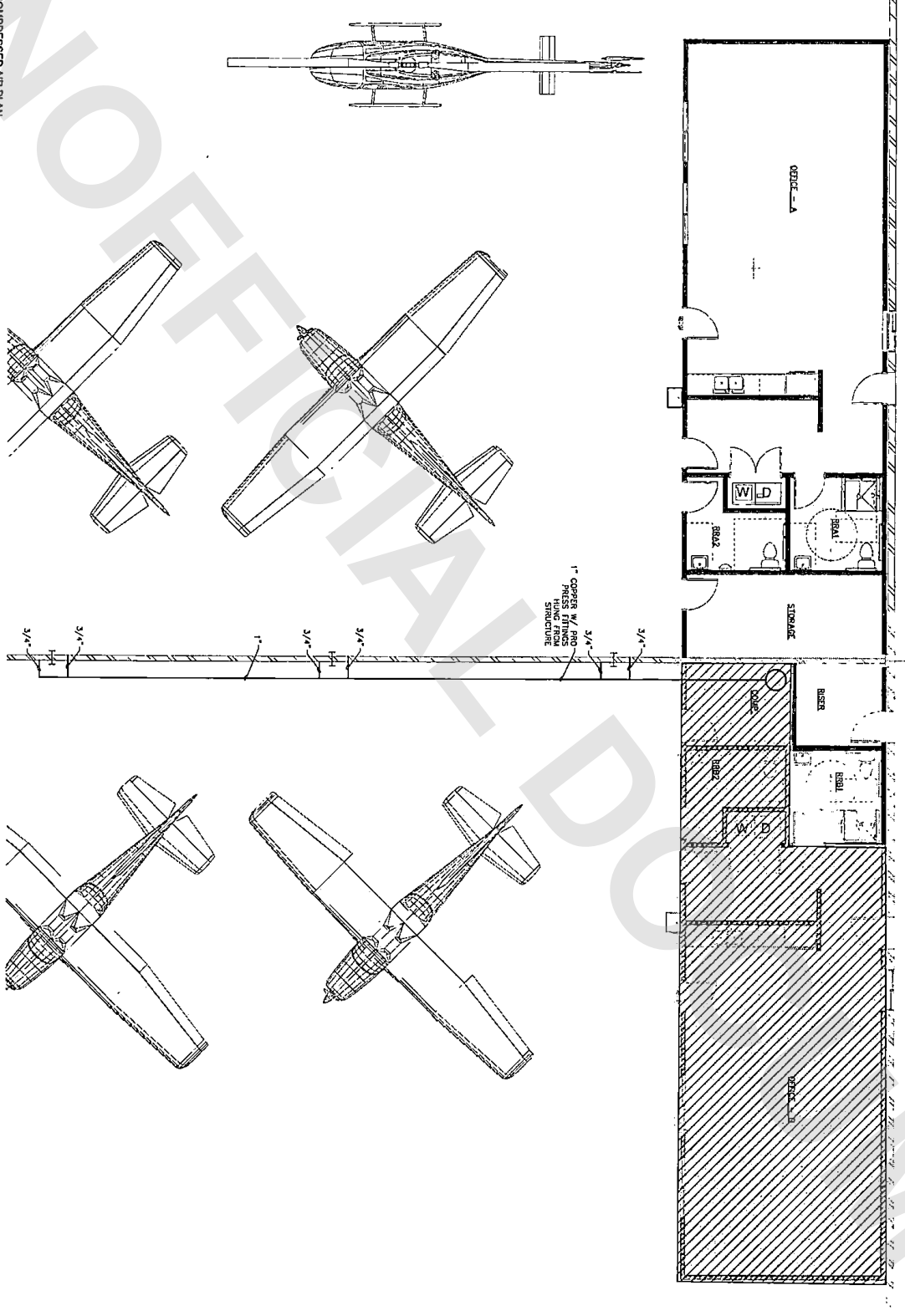
REVISION:

UNDERGROUND  
 WASTE PLAN

22 JANUARY 2021

P-1.0

COMPRESSED AIR PLAN



**ATRICO**  
GENERAL CONTRACTOR



FISHER HANGER

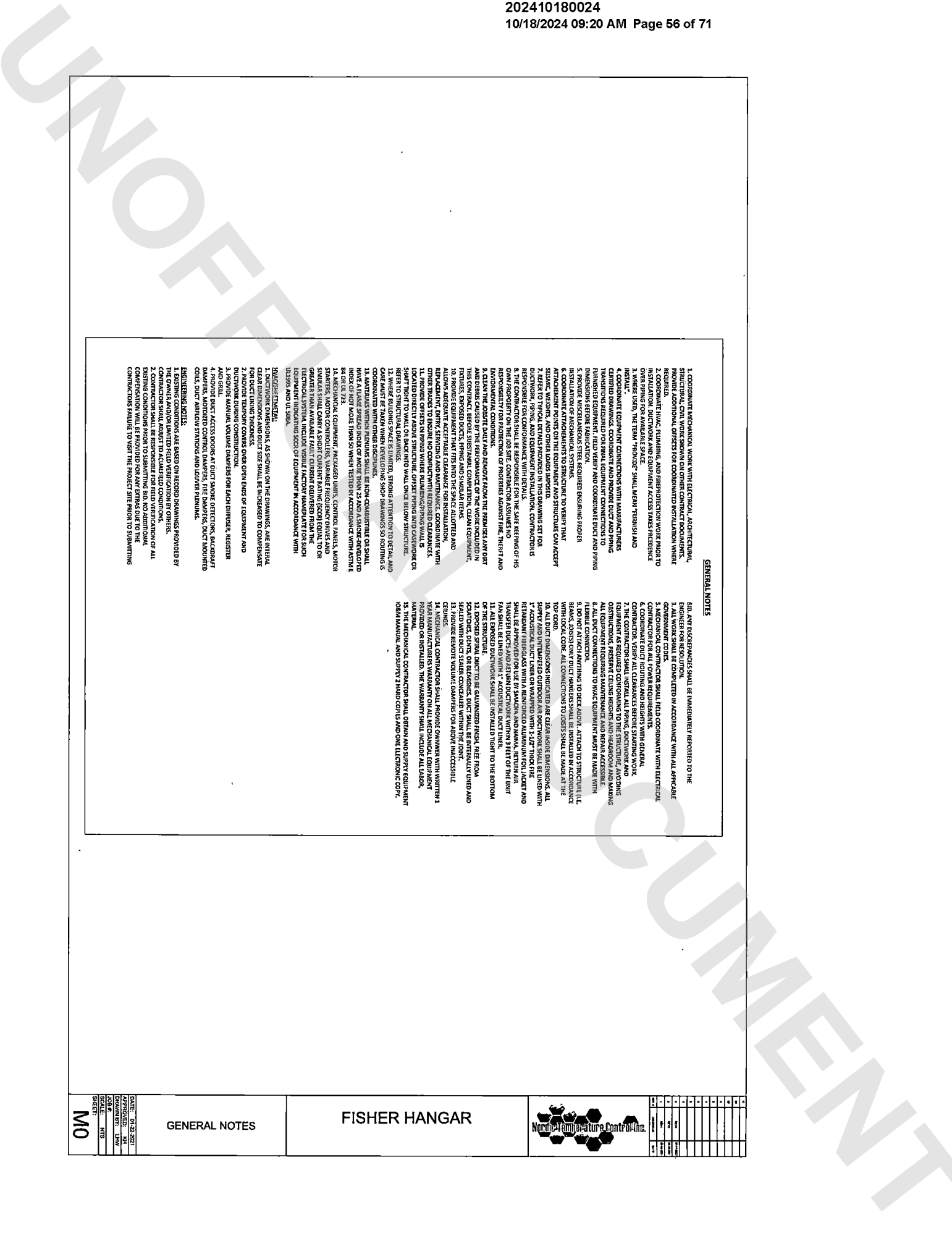
PROJECT CONTACTS:

REVISIONS:

COMPRESSED AIR PLAN

23 JANUARY 2021

P-1.2



**GENERAL NOTES**

1. COORDINATE MECHANICAL WORK WITH ELECTRICAL, ARCHITECTURAL, STRUCTURAL, CIVIL WORK SHOWN ON OTHER CONTRACT DOCUMENTS. PROVIDE ADDITIONAL DETAILS FOR COORDINATED INSTALLATION WHERE REQUIRED.
  2. COORDINATE HVAC, PLUMBING, AND FIREPROTECTION WORK PRIOR TO INSTALLATION. DUCTWORK AND EQUIPMENT ACCESS TAKES PRECEDENCE OVER FINISH FOR AVAILABLE SPACE.
  3. PROVIDE TEMPORARY BRACING FOR ALL STRUCTURAL STEEL MEMBERS AND INSTALLED. BRACING SHALL BE REMOVED PRIOR TO FINISHING AND REPAIRS.
  4. COORDINATE EQUIPMENT CONNECTIONS WITH MANUFACTURERS. OBTAIN REQUIRED PERMITS AND PROVIDE DUCT AND PIPING TRANSPORT REQUIRED FOR FINAL EQUIPMENT CONNECTIONS TO DIMENSIONS BEFORE ERECTION.
  5. PROVIDE MISCELLANEOUS STEEL REQUIRED FOR BRACING AND PROPER INSTALLATION OF MECHANICAL SYSTEMS.
  6. COORDINATE APPROVALS TO STRUCTURE TO VERIFY THAT STRUCTURE IS NOT OVERLOADED BY STRUCTURAL LOADS INCLUDING SEISMIC, WIND, AND OTHER LOADS IMPROSED.
  7. REFER TO TYPICAL DETAILS PROVIDED IN THIS DRAWING SET FOR DUCTWORK, PIPING, AND EQUIPMENT INSTALLATION. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH DETAILS. THE SAFE KEEPING OF HIS OWN PROPERTY ON THE JOB SITE. CONTRACTOR ASSUMES NO RESPONSIBILITY FOR PROTECTION OF PROPERTIES AGAINST FIRE, THEFT AND ENVIRONMENTAL CONDITIONS.
  8. CLEAR THE ROOF DRAIN PANS AND REMOVE FROM THE REARFACE AND FRONT FACE OF THE ROOF. PROVIDE DRAINAGE TO THE ROOF DRAINAGE SYSTEM. THIS CONTRACT, BEFORE SUBSTITUTION, COMPLETION, CLEAN EQUIPMENT, FINISHES, EXPOSED DUCTS, PIPING AND SIMILAR ITEMS.
  9. PROVIDE EQUIPMENT THAT FITS INTO THE SPACE ALLOTTED AND ALLOW SUFFICIENT CLEARANCE FOR INSTALLATION.
  10. PROVIDE EQUIPMENT THAT FITS INTO THE SPACE ALLOTTED AND ALLOW SUFFICIENT CLEARANCE FOR INSTALLATION.
  11. PROVIDE OBJECTS IN PIPING WHERE PLUMBING/PIPING SHALL BE LOCATED DIRECTLY ABOVE STRUCTURE. OFFSET PIPING INTO CASEWORK OR ABOVE THE STRUCTURE SHALL BE DONE BELOW STRUCTURE.
  12. WHERE BUILDING SPACE IS LIMITED, BRACING ATTENTION TO DETAIL AND CARE MUST BE TAKEN WHEN DEVELOPING SHOP DRAWINGS SO BRACING IS COORDINATED WITH OTHER DESCRIPTIONS.
  13. ALL MECHANICAL EQUIPMENT SHALL BE TESTED AND CERTIFIED TO HAVE A LEAK RATE SPECIFIED NUMBER LOWER THAN 25 ANNUAL SPECIFIED RATIO OF NOT MORE THAN 50 WHICH TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723.
  14. MECHANICAL EQUIPMENT PACKAGED UNITS, CONTROL PANELS, MOTOR CONTROLS, AND OTHER MECHANICAL EQUIPMENT SHALL BE PROVIDED WITH GREATER THAN AVAILABLE FACTORY CURRENT RATING (COILS) TO THE ELECTRICAL SYSTEM. INCLUDE VISUAL FACTORY NAMEPLATE FOR SUCH EQUIPMENT INDICATING SERIAL OF EQUIPMENT IN ACCORDANCE WITH UL 1995S AND UL 508.
- MECHANICAL DETAILS:**
1. DUCTWORK DIMENSIONS, AS SHOWN ON THE DRAWINGS, ARE INTEND FOR DUCTWORK DIMENSIONS. SIZE SHALL BE INCREASED TO COMPENSATE FOR DUCTWORK THICKNESS.
  2. PROVIDE TEMPORARY BRACING OVER OPEN ENDS OF EQUIPMENT AND DUCTWORK DURING CONSTRUCTION.
  3. PROVIDE TEMPORARY BRACING OVER OPEN ENDS OF EQUIPMENT AND DUCTWORK DURING CONSTRUCTION.
  4. PROVIDE DUCT ACCESS DOORS AT DUCT SMOKE DETECTORS, BACKDRAFT DAMPERS, MOTORIED CONTROL DAMPERS, FINE DAMPERS, DUCT MOUNTED COILS, DUCT AIRFLOW STATIONS AND LOUVER PERIMETER.
- ENGINEERING NOTES:**
1. EXISTING CONDITIONS ARE BASED ON RECORD DRAWINGS PROVIDED BY THE OWNER AND/OR LIMITED FIELD SURVEY DATA.
  2. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS. NO ADDITIONAL COMPENSATION WILL BE PROVIDED FOR ANY ERRORS DUE TO THE CONTRACTOR'S FAILURE TO VISIT THE PROJECT SITE PRIOR TO SUBMITTING BIDS.

810. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER FOR RESOLUTION.

5. MECHANICAL CONTRACTOR SHALL FIELD COORDINATE WITH ELECTRICAL CONTRACTOR FOR ALL POWER REQUIREMENTS.
6. COORDINATE DUCT ROUTING AND HEIGHTS WITH GENERAL CONTRACTOR AND ARCHITECT.
7. THE CONTRACTOR SHALL INSTALL ALL PIPING, DUCTWORK AND EQUIPMENT AS REQUIRED CONFORMING TO THE STRUCTURE, AVOIDING OBSTRUCTIONS, PRESERVE CEILING HEIGHTS AND HEADROOM AND MAINTAIN ALL EQUIPMENT REQUIRES MAINTENANCE AND REPAIR ACCESSIBLE.
8. ALL EQUIPMENT SHALL BE INSTALLED TO THE BOTTOM OF THE FLEXIBLE CONNECTOR.
9. DO NOT ATTACH ANYTHING TO BECK ABOVE. ATTACH TO STRUCTURE (I.E. BEAMS, JOISTS) DUCT HANGERS SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODE. ALL CONNECTIONS TO JOISTS SHALL BE MADE AT THE TOP OF THE JOIST.
10. ALL DUCT DIMENSIONS INDICATED ARE CLEAR INSIDE DIMENSIONS. ALL SUPPLY AND VENTILATED OUTDOOR AIR DUCTWORK SHALL BE UNED WITH 1" ACoustICAL DUCT LINER OR W/ALPATED WITH 1.127" THICK FINE REINFORCED FIBERGLASS WITH A REINFORCED ALUMINUM FOLIACT AND THICKNESS SHALL BE 1/8" MINIMUM. ALL DUCTWORK SHALL BE UNED WITH 1" ACoustICAL DUCT LINER WITHIN 3' FEET OF THE DUCT FAN SHALL BE UNED WITH 1" ACoustICAL DUCT LINER.
11. ALL EXPOSED DUCTWORK SHALL BE INSTALLED TIGHT TO THE BOTTOM OF THE STRUCTURE. DUCTS TO BE GALVANNEED AREA, FREE FROM SCOTCHES, SPOTS, OR BLEMISHES. DUCT SHALL BE INTERNALLY UNED AND SEALED WITH DUCT SEALER CONVENIENS WITHIN THE JOINT.
13. PROVIDE REMOTE VOLUME DAMPERS FOR ABOVE INACCESSIBLE CEILING.
14. ALL MECHANICAL CONTRACTORS SHALL PROVIDE OWNERS WITH WITHIN 1 YEAR MANUFACTURERS WARRANTY ON ALL MECHANICAL EQUIPMENT PROVIDED ON INSTALLATION. THE WARRANTY SHALL INCLUDE ALL LABOR, MATERIAL.
15. THE MECHANICAL CONTRACTOR SHALL OBTAIN AND SUPPLY EQUIPMENT (OWN MANUFACTURE) AND SUPPLY 2 (TWO) COPIES AND ONE ELECTRONIC COPY.



**FISHER HANGAR**

**GENERAL NOTES**

DATE:	01-24-2021
APPROVED:	NM
DRAWN BY:	JHW
CHECKED:	NIS
SHEET:	MO



TABLE 1		
Item No.	Description	Unit
1	Supply Air Conditioning Schedule	EA
2	Exhaust Fan Schedule	EA
3	Exhaust Fan Schedule	EA
4	Exhaust Fan Schedule	EA
5	Exhaust Fan Schedule	EA

Supply System Air Conditioning Schedule		
Item No.	Description	Unit
1	Supply Air Conditioning Schedule	EA
2	Supply Air Conditioning Schedule	EA
3	Supply Air Conditioning Schedule	EA
4	Supply Air Conditioning Schedule	EA
5	Supply Air Conditioning Schedule	EA

TABLE 2		
Item No.	Description	Unit
1	Supply Air Conditioning Schedule	EA
2	Supply Air Conditioning Schedule	EA
3	Supply Air Conditioning Schedule	EA
4	Supply Air Conditioning Schedule	EA
5	Supply Air Conditioning Schedule	EA

TABLE 3		
Item No.	Description	Unit
1	Supply Air Conditioning Schedule	EA
2	Supply Air Conditioning Schedule	EA
3	Supply Air Conditioning Schedule	EA
4	Supply Air Conditioning Schedule	EA
5	Supply Air Conditioning Schedule	EA

TABLE 4		
Item No.	Description	Unit
1	Supply Air Conditioning Schedule	EA
2	Supply Air Conditioning Schedule	EA
3	Supply Air Conditioning Schedule	EA
4	Supply Air Conditioning Schedule	EA
5	Supply Air Conditioning Schedule	EA

Exhaust Fan Schedule		
Item No.	Description	Unit
1	Exhaust Fan Schedule	EA
2	Exhaust Fan Schedule	EA
3	Exhaust Fan Schedule	EA
4	Exhaust Fan Schedule	EA
5	Exhaust Fan Schedule	EA

Exhaust Fan Schedule		
Item No.	Description	Unit
1	Exhaust Fan Schedule	EA
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Item No.	Description	Unit
1	Exhaust Fan Schedule	EA
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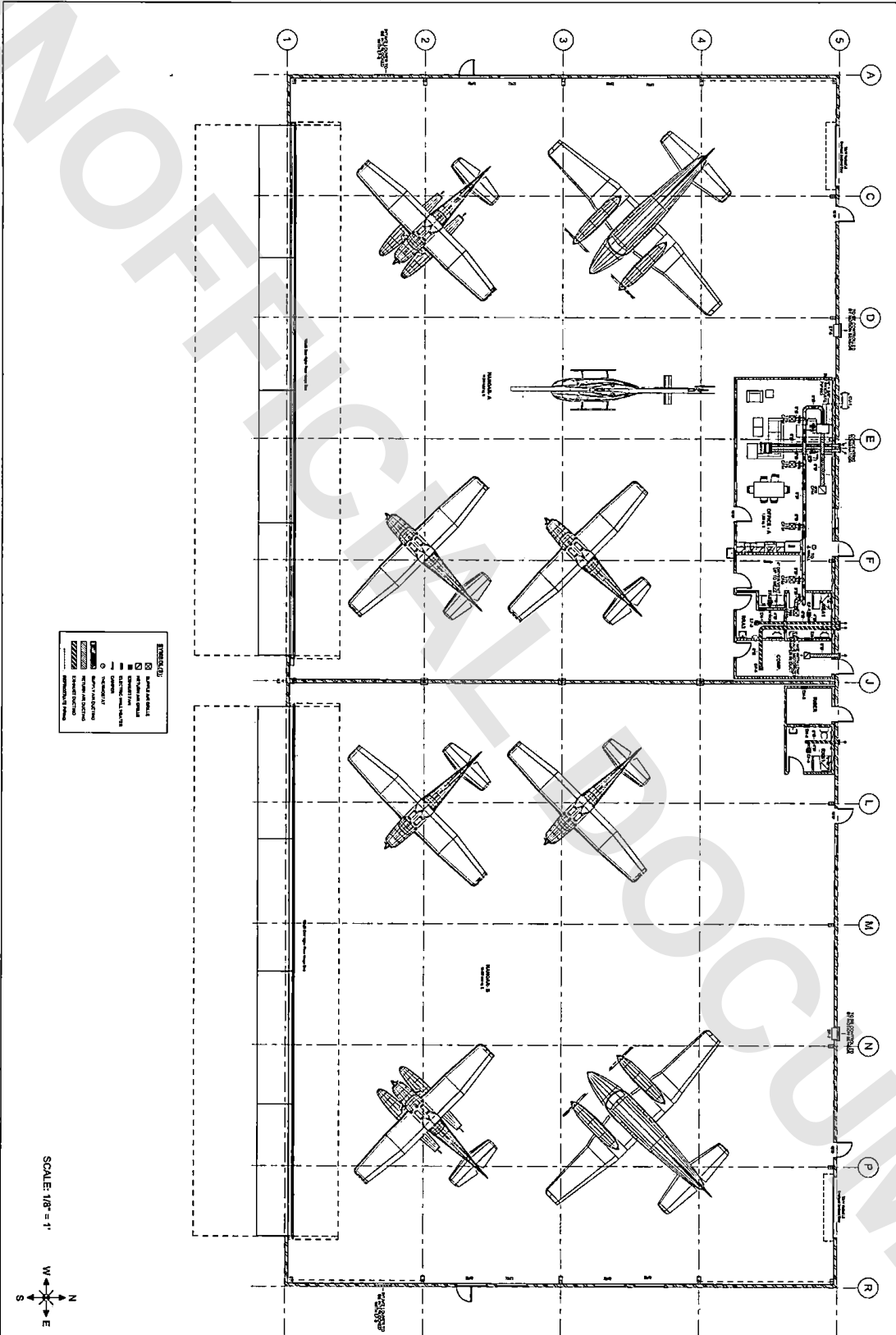
Item No.	Description	Unit
1	Supply Air Conditioning Schedule	EA
2	Supply Air Conditioning Schedule	EA
3	Supply Air Conditioning Schedule	EA
4	Supply Air Conditioning Schedule	EA
5	Supply Air Conditioning Schedule	EA



## FISHER HANGAR

### HVAC SCHEDULES

DATE: 03-23-2021  
 APPROVED BY: JHW  
 DRAWN BY: JHW  
 SHEET: M1

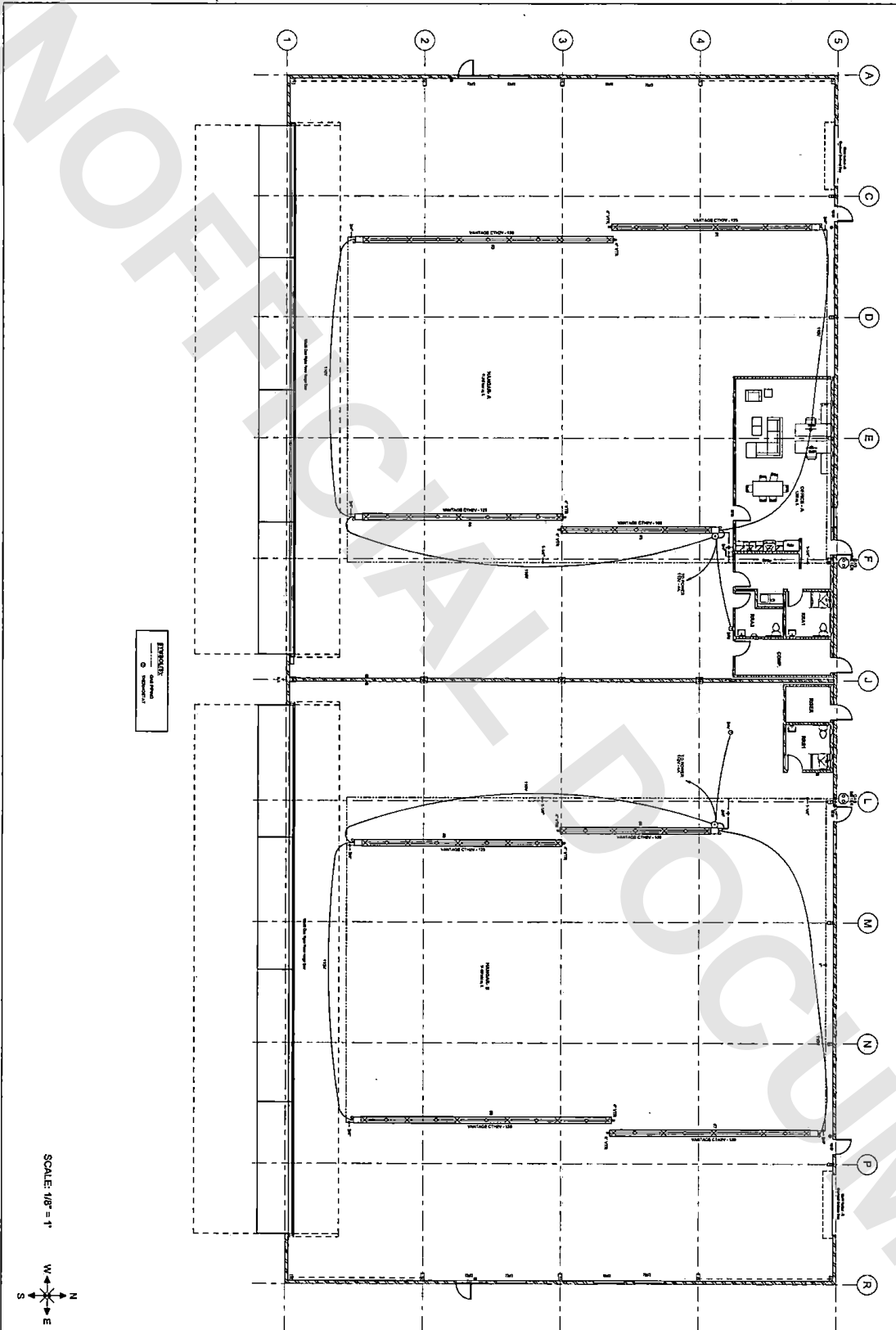


**LEGEND**

(Symbol)	Unoccupied Aircraft
(Symbol)	Occupied Aircraft
(Symbol)	Service Area
(Symbol)	Structural Steel
(Symbol)	Structural Concrete
(Symbol)	Structural Masonry
(Symbol)	Structural Metal Deck
(Symbol)	Structural Insulation
(Symbol)	Structural Sealant
(Symbol)	Structural Joint
(Symbol)	Structural Detail
(Symbol)	Structural Note

SCALE: 1/8" = 1'

<p>DATE: 10/23/2024                  APPROVED: KH                  DRAWN BY: LWK                  SCALE: 1/8" = 1'                  SHEET: M2</p>	<p><b>HVAC LAYOUT PLAN</b></p>	<p><b>FISHER HANGAR</b></p>		<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>AMOUNT</th> <th>UNIT</th> </tr> </thead> <tbody> <tr><td>1</td><td> </td><td> </td><td> </td></tr> <tr><td>2</td><td> </td><td> </td><td> </td></tr> <tr><td>3</td><td> </td><td> </td><td> </td></tr> <tr><td>4</td><td> </td><td> </td><td> </td></tr> <tr><td>5</td><td> </td><td> </td><td> </td></tr> <tr><td>6</td><td> </td><td> </td><td> </td></tr> <tr><td>7</td><td> </td><td> </td><td> </td></tr> <tr><td>8</td><td> </td><td> </td><td> </td></tr> <tr><td>9</td><td> </td><td> </td><td> </td></tr> <tr><td>10</td><td> </td><td> </td><td> </td></tr> <tr><td>11</td><td> </td><td> </td><td> </td></tr> <tr><td>12</td><td> </td><td> </td><td> </td></tr> <tr><td>13</td><td> </td><td> </td><td> </td></tr> <tr><td>14</td><td> </td><td> </td><td> </td></tr> <tr><td>15</td><td> </td><td> </td><td> </td></tr> </tbody> </table>	NO.	DESCRIPTION	AMOUNT	UNIT	1				2				3				4				5				6				7				8				9				10				11				12				13				14				15			
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LEGEND  
 (Symbol) (Description)

SCALE: 1/8" = 1'



<b>M3</b>	DATE: 11/23/2021	<b>FISHER HANGAR</b>		1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
	HVAC TUBE HEATER LAYOUT PLAN			DRAWN BY: LAM	CHECKED BY: LAM	DATE: 11/23/2021																																																																																																	
	PROJECT: FISHER HANGAR			SHEET: 18 OF 18	SCALE: 1/8" = 1'	DATE: 11/23/2021																																																																																																	
	M3			DATE: 11/23/2021	DRAWN BY: LAM	CHECKED BY: LAM																																																																																																	

**CIRCUITS**

RECEIPTABLES

PANELS

**CONTROLS**

**ABBREVIATIONS**

**RECEPTACLE TYPES**

**EQUIPMENT**

**LIGHTING**

**LIGHTING SWITCHES AND CONTROLS**

**TECHNOLOGY**

**NOT IN CONTRACT**

**GENERAL SCOPE OF ELECTRICAL:**

**APPLICABLE CODES:**

**Sheet List**

Sheet Number	Sheet Title
E000	Power Sheet
E001	NEEC
E100	One Line Diagram and Panel Schedules
E200	Grounding
E300	Grounding and Power Paths
E400	Low Voltage and Lighting
E500	Grounding and Lightning Protection



6041 7TH AVE. S.  
SEASIDE, CA 94134  
508-254-5300  
www.veca.org

Fisher Hanger

Design Notes

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Date: 2023-10-13

Drawn By: JMM

Checked By: JMM

Cover Sheet

E000

10/28/2021 9:45:31 AM

Lighting, Wiring and Electrical Requirements List 157 of 118

Item	Description	Quantity	Unit	Notes
1	...	...	...	...
2	...	...	...	...

Lighting, Wiring and Electrical Requirements List 158 of 118

Item	Description	Quantity	Unit	Notes
1	...	...	...	...
2	...	...	...	...

Lighting, Wiring and Electrical Requirements List 159 of 118

Item	Description	Quantity	Unit	Notes
1	...	...	...	...
2	...	...	...	...

Lighting, Wiring and Electrical Requirements List 160 of 118

Item	Description	Quantity	Unit	Notes
1	...	...	...	...
2	...	...	...	...

Lighting, Wiring and Electrical Requirements List 161 of 118

Item	Description	Quantity	Unit	Notes
1	...	...	...	...
2	...	...	...	...

Lighting, Wiring and Electrical Requirements List 162 of 118

Item	Description	Quantity	Unit	Notes
1	...	...	...	...
2	...	...	...	...

Lighting, Wiring and Electrical Requirements List 163 of 118

Item	Description	Quantity	Unit	Notes
1	...	...	...	...
2	...	...	...	...

Lighting, Wiring and Electrical Requirements List 164 of 118

Item	Description	Quantity	Unit	Notes
1	...	...	...	...
2	...	...	...	...

Lighting, Wiring and Electrical Requirements List 165 of 118

Item	Description	Quantity	Unit	Notes
1	...	...	...	...
2	...	...	...	...

Lighting, Wiring and Electrical Requirements List 166 of 118

Item	Description	Quantity	Unit	Notes
1	...	...	...	...
2	...	...	...	...

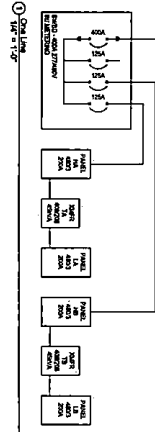
**ELECTRICAL**  
  
 5811 TRINAVI 3  
 5710 DON BRADY  
 7204-54-5200  
 7204-54-5200

Fisher Hanger

**ATRICO**

NOT TO BE USED FOR ELECTRICAL  
 WORK. THIS IS A GENERAL  
 INFORMATION LIST FOR THE  
 PROJECT. THE CONTRACTOR  
 SHALL VERIFY ALL REQUIREMENTS  
 AND CONDITIONS FOR ALL  
 MATERIALS AND EQUIPMENT  
 PRIOR TO INSTALLATION.  
 APPROVED BY: [Signature]

DATE: 2024.10.18  
 JOB NO: E001  
 DRAWN BY: JMS  
 CHECKED BY: JMS  
 DRAWING TITLE: NREC  
 SHEET NO: E001



Panel 1A	Panel 1B	Panel 1C	Panel 1D	Panel 1E	Panel 1F	Panel 1G	Panel 1H	Panel 1I	Panel 1J	Panel 1K	Panel 1L	Panel 1M	Panel 1N	Panel 1O	Panel 1P	Panel 1Q	Panel 1R	Panel 1S	Panel 1T	Panel 1U	Panel 1V	Panel 1W	Panel 1X	Panel 1Y	Panel 1Z																																																																										
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Panel 1A	Panel 1B	Panel 1C	Panel 1D	Panel 1E	Panel 1F	Panel 1G	Panel 1H	Panel 1I	Panel 1J	Panel 1K	Panel 1L	Panel 1M	Panel 1N	Panel 1O	Panel 1P	Panel 1Q	Panel 1R	Panel 1S	Panel 1T	Panel 1U	Panel 1V	Panel 1W	Panel 1X	Panel 1Y	Panel 1Z																																																																										
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Panel 1A	Panel 1B	Panel 1C	Panel 1D	Panel 1E	Panel 1F	Panel 1G	Panel 1H	Panel 1I	Panel 1J	Panel 1K	Panel 1L	Panel 1M	Panel 1N	Panel 1O	Panel 1P	Panel 1Q	Panel 1R	Panel 1S	Panel 1T	Panel 1U	Panel 1V	Panel 1W	Panel 1X	Panel 1Y	Panel 1Z																																																																										
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Panel 1A	Panel 1B	Panel 1C	Panel 1D	Panel 1E	Panel 1F	Panel 1G	Panel 1H	Panel 1I	Panel 1J	Panel 1K	Panel 1L	Panel 1M	Panel 1N	Panel 1O	Panel 1P	Panel 1Q	Panel 1R	Panel 1S	Panel 1T	Panel 1U	Panel 1V	Panel 1W	Panel 1X	Panel 1Y	Panel 1Z																																																																										
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**ELECTRICAL**  
**VECA**  
5814 THY AVE. S.  
SEASIDE, CA 94134  
TEL: 415-435-2000  
WWW.VECA.COM

Fisher Hanger

Client Name:

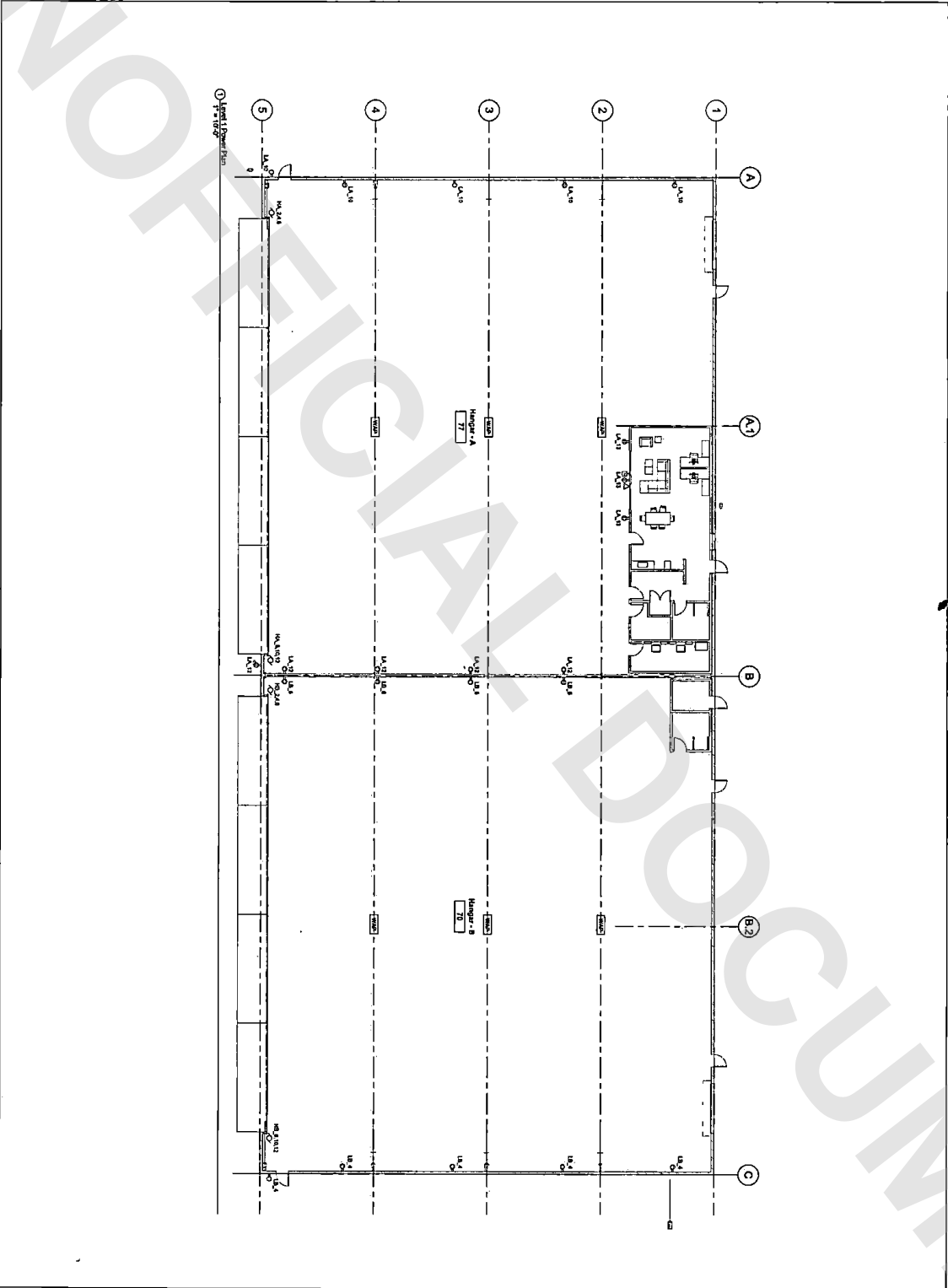
**ATRICO**

CONSTRUCTION OF THE PROJECT IS THE RESPONSIBILITY OF THE CLIENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.

Drawn By: [Name]  
Checked By: [Name]  
Date: 2024-10-18  
One Line Diagram and Panel Schedule

E100

10/28/2021 8:45:37 AM



**ELECTRICAL**  
**VECA**  
 5911 THIRDAVE. S.  
 P.O. BOX 683870  
 SEATTLE, WA 98168  
 T 206-464-2000  
 F 206-464-2001  
 WWW.VECA.COM

**Fisher Hanger**

Sheet Number

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Date:	2024.10.23
Job No.:	42514
Project No.:	2024
Contract No.:	142

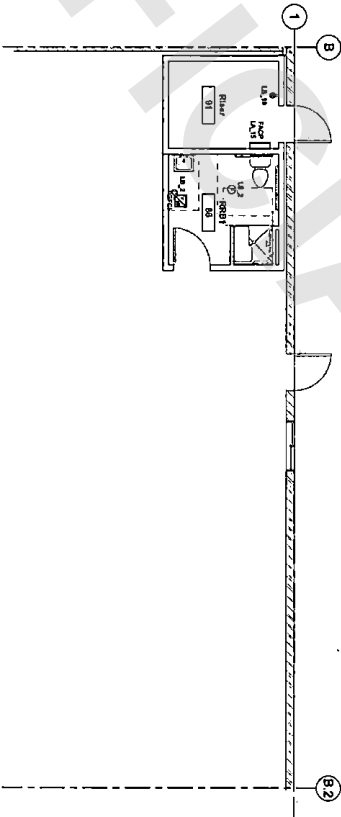
Overall Power Plan

Sheet No.

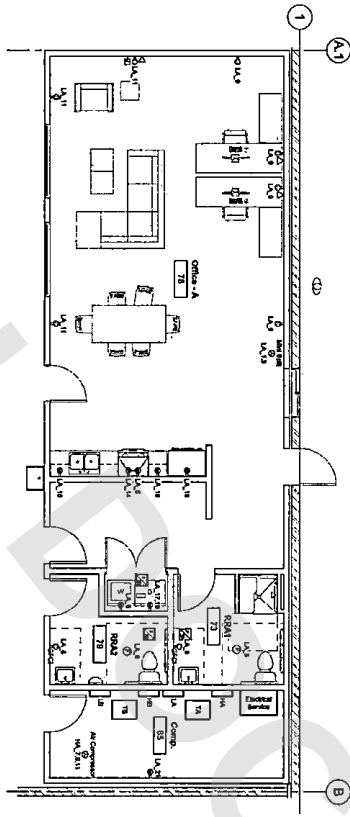
**E200**

10/20/2021 8:41 AM

② Level 1 Engage Office B Power Plan



① Level 1 Engage Office A Power Plan



**ELECTRICAL**  
**VECA**  
 5614 7TH AVE. S.  
 P.O. BOX 64287  
 SEATTLE, WA 98166  
 TEL: 206-465-5200  
 FAX: 206-465-5201  
 WWW.VECAWA.COM

Fisher Hanger

Sheet Number

**ATRICO**  
 1  
 WE ENGINEER AND ARCHITECTS  
 10000 NE 8TH AVE. SUITE 1000  
 BELLEVUE, WA 98004  
 TEL: 206-465-5200  
 FAX: 206-465-5201  
 WWW.ATRICO.COM

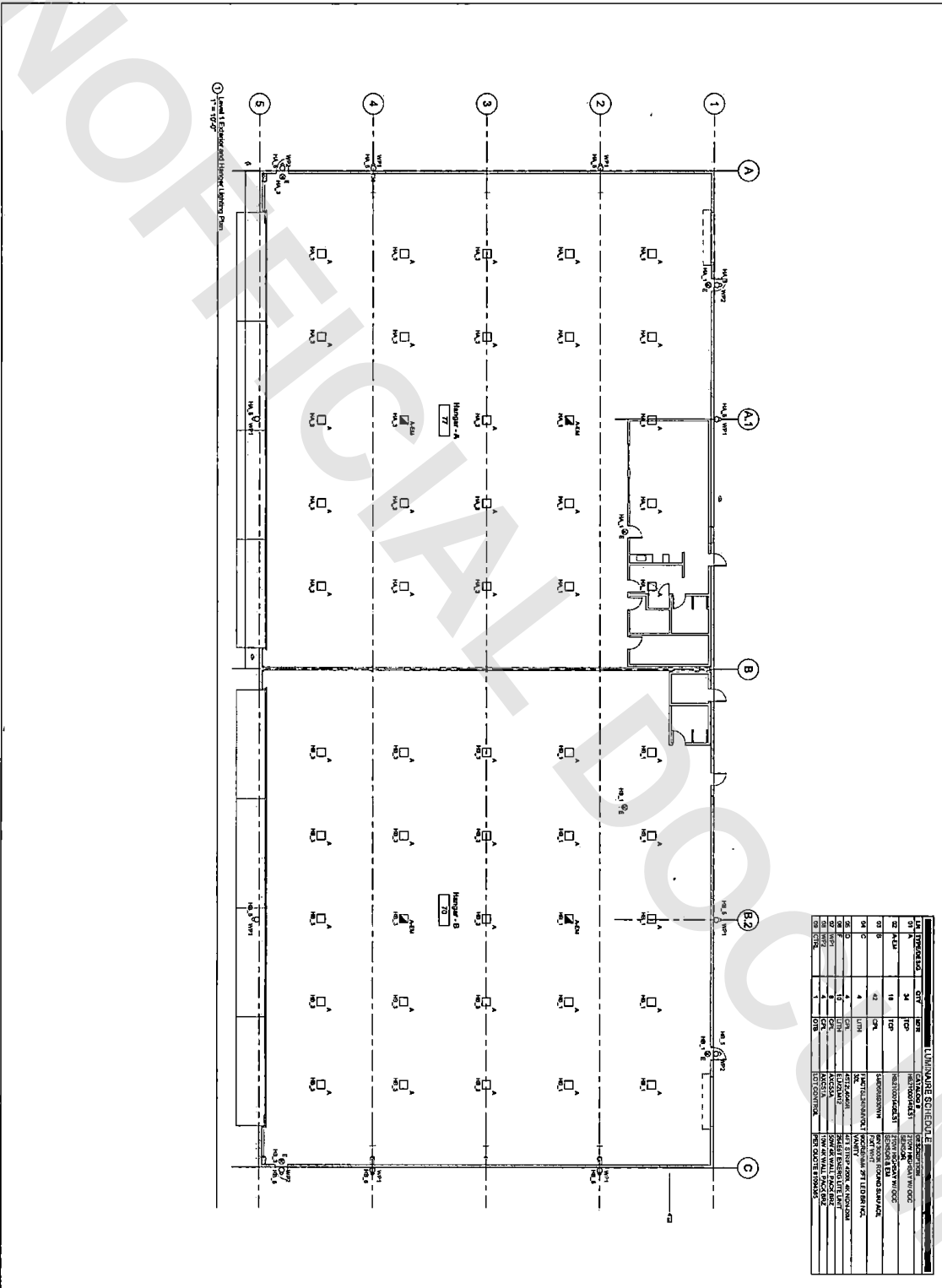
Date:	2024.10.18
Job No.:	202410180024
Drawn By:	AKM
Checked By:	AKM
Design Title:	Engaged Office Power Plans

Drawing Title

E201



10/20/2024 8:45:44 AM



LT	DESCRIPTION	QTY	UNIT	REMARKS
01	RECESSED	34	HP	RECESSED
02	4'x4'	16	HP	RECESSED
03	4'x4'	4	HP	RECESSED
04	4'x4'	4	HP	RECESSED
05	4'x4'	4	HP	RECESSED
06	4'x4'	4	HP	RECESSED
07	4'x4'	4	HP	RECESSED
08	4'x4'	4	HP	RECESSED
09	4'x4'	4	HP	RECESSED
10	4'x4'	4	HP	RECESSED
11	4'x4'	4	HP	RECESSED
12	4'x4'	4	HP	RECESSED
13	4'x4'	4	HP	RECESSED
14	4'x4'	4	HP	RECESSED
15	4'x4'	4	HP	RECESSED
16	4'x4'	4	HP	RECESSED
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18	4'x4'	4	HP	RECESSED
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22	4'x4'	4	HP	RECESSED
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29	4'x4'	4	HP	RECESSED
30	4'x4'	4	HP	RECESSED
31	4'x4'	4	HP	RECESSED
32	4'x4'	4	HP	RECESSED
33	4'x4'	4	HP	RECESSED
34	4'x4'	4	HP	RECESSED

DATE: 2024.10.18  
 DRAWN BY: JMM  
 CHECKED BY: JMM  
 PROJECT: Level 1 Exterior and Hanger Lighting Plan  
 DRAWING NO: E300

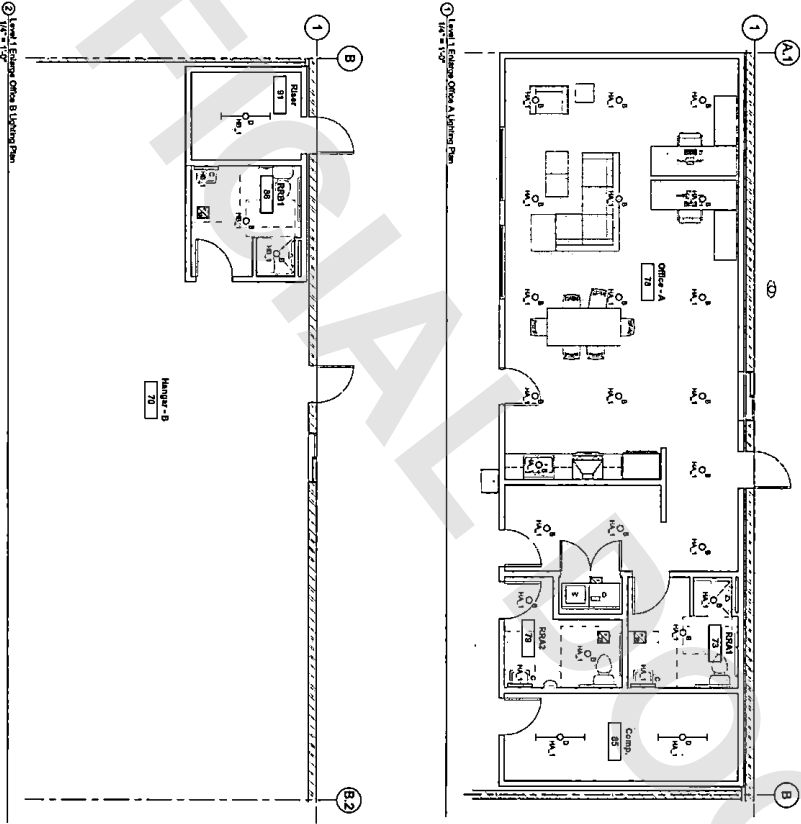
**VECA**  
 5014 THUNDER BOLT  
 SUITE 100  
 708-444-2500  
 www.veca.com

**Fisher Hanger**

**ATRICO**

NOT TO SCALE  
 THIS DRAWING IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE.  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE FIELD.  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.  
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 THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS AND WASTE.  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL AREAS TO ORIGINAL OR BETTER CONDITION.  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDS.  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.

10/18/2024 8:54:47 AM



Date: 2024.10.18  
 Job No.: 22014  
 Drawn By: JSM  
 Checked By: MS  
 Drawing Title:  
 Engrg. Office  
 Lighting Plans

E301

**VECA**  
 VOLTAGE ELECTRICAL CONTRACTORS ASSOCIATION  
 5614 THANE ST.  
 P.O. BOX 648110  
 SEATTLE, WA 98164  
 TEL: 206-444-2000  
 FAX: 206-444-2000

**ATRICO**  
 THE PROFESSIONAL ELECTRICAL CONTRACTORS ASSOCIATION  
 1000 UNIVERSITY AVENUE, SUITE 100  
 SEATTLE, WA 98101  
 TEL: 206-461-1111  
 FAX: 206-461-1122

**Fisher Hanger**  
 5000 1st Avenue  
 Seattle, WA 98105

EXHIBIT 3

After Recording Return To:

PORT OF SKAGIT COUNTY  
15400 AIRPORT DRIVE  
BURLINGTON, WA 98233

**ASSIGNMENT OF LEASE AND CONSENT THERETO**

DATED THIS \_\_\_ DAY OF \_\_\_\_\_ 2\_\_

Reference number(s) of document(s) assigned or released: \_\_\_\_\_

Assessor's Parcel/Tax ID Number: \_\_\_ - \_\_\_ - \_\_\_ /P\_\_\_\_\_

**A. RECITALS**

WHEREAS, the PORT OF SKAGIT COUNTY, a Washington municipal corporation, ("Lessor"), and \_\_\_\_\_, a \_\_\_\_\_ entered into a lease for the real property legally described as \_\_\_\_\_ (the "Premises") and recorded under Skagit County Auditor's file number \_\_\_\_\_ ("Lease"); and

WHEREAS, \_\_\_\_\_ ("Assignor") has transferred the improvements on the Premises and wishes to assign the Tenant's interest in the Lease to \_\_\_\_\_, a \_\_\_\_\_ ("Assignee"), of which transfer and assignment the Lessor approves; and

NOW, THEREFORE, BASED ON THE FORGOING, THE PARTIES NOW ACT AND AGREE AS FOLLOWS:

**B. ASSIGNMENT**

FOR VALUE RECEIVED: (1) Assignor, hereby grants, bargains, sells, assigns, transfers and delivers unto Assignee, Assignor's interest in the Lease; and (2) Assignee hereby agrees to accept assignment of the Lease.

**C. CONSENT**

Lessor hereby consents to the forgoing Assignment of the Lease subject to and contingent upon compliance with the following agreements and conditions:

1. Assignee hereby unconditionally: (a) assumes all of Assignor's obligations contained in the Lease; and (b) accepts, and agrees and covenants to comply with, and guarantees performance and fulfillment of, all the terms and conditions contained in the Lease.

2. Assignor hereby agrees to comply with all its financial obligations as Lessee incurred to the Lessor through the date of assignment or as thereafter may be determined to have been incurred prior to the date of assignment.

3. A determination by the Lessor, at its sole discretion, that: (a) Assignee is financially responsible to meet Lessee's financial obligations pursuant to the Lease.

4. The Assignee hereby agrees that all notices and payments hereunder may be delivered or mailed as set forth herein. If delivered by messenger, courier (including overnight air courier) or facsimile transmittal, the same shall be deemed delivered when received at the street addresses or facsimile numbers listed below. Lessor shall have no obligation to deliver any notice to Assignor. All notices and payments mailed, whether sent by regular post or by certified or registered mail, shall be deemed to have been given on the second business day following the date of mailing, if properly mailed to the mailing addresses provided below, and shall be conclusive evidence of the date of mailing. The parties may designate new or additional addresses for mail or delivery by providing notice to the other party as provided in this section.

**To Lessor:** **Street Address:**  
Port of Skagit County  
15400 Airport Drive  
Burlington, WA 98233  
Phone No.: (360) 757-0011  
Fax No.: (360) 757-0014

**Mailing Address:**  
Port of Skagit County  
15400 Airport Drive  
Burlington, WA 98233

**To Assignee:** **Street Address:**  
\_\_\_\_\_  
c/o \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_, WA 98\_\_\_\_  
Phone No.: (360) \_\_\_\_\_-\_\_\_\_\_  
Fax No.: (360) \_\_\_\_\_-\_\_\_\_\_

**Mailing Address:**  
Same as Street Address

PORT OF SKAGIT  
ASSIGNMENT OF LEASE WITH CONSENT THERETO  
ASSIGNOR: \_\_\_\_\_  
ASSIGNEE: \_\_\_\_\_

The signature of Assignor hereinafter made constitutes evidence of Assignor's acceptance of the terms and conditions herein stated as set forth in paragraph C above. The signature of the Assignee hereinafter made constitutes evidence of Assignee's acceptance of the terms and conditions herein stated and agreement to comply with the matters referenced in the paragraph C above and Assignee's guarantee of the performance and fulfillment of the obligations in the Lease.

ASSIGNOR:

ASSIGNEE:

\_\_\_\_\_

\_\_\_\_\_

By: \_\_\_\_\_

By: \_\_\_\_\_

Its: \_\_\_\_\_

Its: \_\_\_\_\_

Date: \_\_\_\_\_

Date: \_\_\_\_\_

Attest:

Attest:

By: \_\_\_\_\_

By: \_\_\_\_\_

Its: \_\_\_\_\_

Its: \_\_\_\_\_

STATE OF WASHINGTON )  
  ) ss.  
COUNTY OF SKAGIT )

**ACKNOWLEDGEMENT AS APPROPRIATE**

Witness my hand and official seal hereto affixed the say and year first above written.

\_\_\_\_\_  
Notary Public in and for the state of  
Washington, residing at \_\_\_\_\_  
My commission expires: \_\_\_\_\_

Printed Name: \_\_\_\_\_

PORT OF SKAGIT  
ASSIGNMENT OF LEASE WITH CONSENT THERETO  
ASSIGNOR: \_\_\_\_\_  
ASSIGNEE: \_\_\_\_\_

STATE OF WASHINGTON )  
 ) ss.  
COUNTY OF SKAGIT )

**ACKNOWLEDGEMENT AS APPROPRIATE**

Witness my hand and official seal hereto affixed the say and year first above written.

\_\_\_\_\_  
Notary Public in and for the state of  
Washington, residing at \_\_\_\_\_  
My commission expires: \_\_\_\_\_

Printed Name: \_\_\_\_\_

PORT OF SKAGIT  
ASSIGNMENT OF LEASE WITH CONSENT THERETO  
ASSIGNOR: \_\_\_\_\_  
ASSIGNEE: \_\_\_\_\_

UNOFFICIAL DOCUMENT

**CONSENT TO ASSIGNMENT**

The Lessor hereby consents to the assignment of the above-referenced Lease, on the conditions hereinbefore set forth.

**PORT OF SKAGIT COUNTY**

\_\_\_\_\_, Commission President

\_\_\_\_\_, Commission Secretary

\_\_\_\_\_  
Date

\_\_\_\_\_  
Date

STATE OF WASHINGTON )  
  ) ss.  
COUNTY OF SKAGIT    )

On this \_\_\_\_\_ day of \_\_\_\_\_ 2006 before me, the undersigned, a Notary Public in and for the state of Washington, duly commissioned and sworn, personally appeared \_\_\_\_\_ and \_\_\_\_\_, to me known to be the president and secretary, respectively of the Port Commission of the Port of Skagit County, a municipal corporation, the corporation that executed the foregoing instrument, and acknowledged the said instrument to be the free and voluntary act and deed of said corporation, for the uses and purposes therein mentioned, and on oath stated that they/he/she is/are authorized to execute the said instrument,

Witness my hand and official seal hereto affixed the day and year first above written.

\_\_\_\_\_  
Notary Public in and for the state of  
Washington, residing at \_\_\_\_\_  
My commission expires: \_\_\_\_\_

Printed Name: \_\_\_\_\_

PORT OF SKAGIT  
ASSIGNMENT OF LEASE WITH CONSENT THERETO  
ASSIGNOR: \_\_\_\_\_  
ASSIGNEE: \_\_\_\_\_