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10/18/2024 09:20 AM Pages: 1 of 71 Fees: \$373.50
Skagit County Auditor

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| REVIEWED BY SKAGIT COUNTY TREASURER DEPUTY <u>Kathleen Johnson</u> DATE <u>10/16/2024</u> |
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COVER SHEET

Return to:

PORT OF SKAGIT COUNTY
15400 AIRPORT DRIVE
BURLINGTON, WA 98233

Document Title(s) (or transactions contained herein):

- 1. Ground Lease Agreement**

Reference No. of Related Document(s):

Grantor(s) (last name, first name and initials):

- 1. Port of Skagit County**

Grantee(s) (last name, first name and initials):

- 1. Joseph W. Fisher and Barbara Ann Fisher Trust**

Legal Description (abbreviated: i.e., lot, block, plat or quarter, quarter, section, township and range)

**A PORTION OF 87, OF THE ALTERATION TO AMENDED SKAGIT
REGIONAL AIRPORT BINDING SITE PLAN, PHASE 1, AF
202112100111**

Additional Legal Description(s) on page 4 of Document.

Assessor's Parcel/Tax I.D. Number: 35352

GROUND LEASE AGREEMENT

BETWEEN

PORT OF SKAGIT COUNTY

and

JOSEPH W. FISHER II AND BARBARA ANN FISHER TRUST

Commencement Date:

August 11, 2020

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PORT OF SKAGIT COUNTY
GROUND LEASE AGREEMENT

THIS GROUND LEASE AGREEMENT, hereinafter referred to as "this Lease," is made as of August 11, 2020, by and between the PORT OF SKAGIT COUNTY, a Washington municipal corporation, hereinafter referred to as "Lessor," or "Port," and JOSEPH W. FISHER II AND BARBARA ANN FISHER TRUST, hereinafter referred to as "Lessee."

WITNESSETH:

The Port will lease the Premises described below to Lessee during the construction period between the Commencement Date and Occupancy Date, each defined below, and for a term of thirty (30) years after Occupancy Date, upon the terms and conditions set forth herein.

Therefore, in consideration of their mutual covenants, agreements and undertakings hereinafter contained, the parties hereto do mutually agree to that which is hereinafter set forth, upon and subject to the following terms, conditions, covenants and provisions:

1. PROPERTY SUBJECT TO THIS LEASE AGREEMENT

The following described property (the "Premises") is covered by this Lease:

A portion of Lot 87 of Amended Skagit Regional Airport Binding Site Plan Phase 1, recorded March 4, 2003, under Skagit County Auditor's file number 200303040030, consisting of a hangar lot of approximately 16,800 square feet (actual square feet to be determined) as depicted on attached Exhibit 1.

The non-exclusive, non-preferential, and non-discriminatory right to use any aprons or taxiways to access the Airport runways shall be considered appurtenant to the Premises and shall be considered part of the definition of Premises.

2. TERM / OPTION TO EXTEND/EARLY TERMINATION

a. Term: This Lease shall commence when signed by both parties (the "Commencement Date"). The initial term ("Initial Term") of this Lease shall begin on the Occupancy Date and continue until that date which is thirty (30) years after the Occupancy Date, which shall be the first day of the first month after (i) Lessee obtains an occupancy permit for the Improvements from Skagit County.

b. Options to Extend: Lessee is granted the right to extend this Lease for two (2) consecutive ten (10) year option periods (each an "Option Period") by giving written notice of said intention to Lessor not less than one hundred twenty (120) days prior to the expiration of the Initial Term or any extended term (the Initial Term and any extended term, together, the "Term"), conditioned upon the following:

- i. all terms, covenants and conditions of this Lease during the initial or extended term have been fully met and fulfilled by Lessee, and
- ii. the conditions set forth in Section 22 have been met.

Upon such extension, all terms and conditions of the initial or previous term shall continue with the exception that the rental shall be determined in accordance with the paragraph entitled "PROCEDURE TO DETERMINE ADJUSTED RENT FOR OPTION PERIOD(S) – MARKET RENT VALUE."

c. Lessor has the right to terminate this Lease in the event Lessee has not started construction on the new hangar by June 1, 2022.

d. Lessee has the right to terminate this Lease at any time prior to June 1, 2022.

e. Lessor's Option to Buy Out Lease Rights and Improvements: The foregoing notwithstanding, Lessor may give notice at any time during the term or any extension hereof of its intent to terminate this lease by buying out the balance of this Lease and options to extend (collectively the "Residual Lease Life") and any tenant-owned improvements on the Premises ("Improvements") at the then fair market value ("FMV") of each. Such notice shall be in writing, state a date of termination not less than one hundred eighty (180) days into the future and include the name of an appraiser or appraisers to determine the Residual Lease Life FMV and the fair market value of any Improvements at Lessor's cost ("Lessor's Notice"). If the parties cannot agree on an appraiser or appraisers within fourteen (14) days of Lessor's Notice, the FMV of the Residual Lease Life and Improvements shall be established by averaging the FMV determinations from the appraisal(s) of the parties' own appraisers; *provided*, that each party shall pay for its own such appraisal(s) and no appraisal shall be considered if not obtained within seventy-five (75) days of Lessor's Notice. The Residual Lease Life and Improvement FMV so established shall be final and binding on the parties. Upon giving of Lessor's Notice, the Lessor and Lessee shall mutually agree to relocate Lessee on other taxiway accessible Port-owned land. The Lessor shall not force a Buy Out of the Lease Rights and Improvements at a loss to the Lessee unless mutually agreed upon.

3. BUSINESS PURPOSE

a. **Business Purpose:** It is understood and agreed that Lessee intends to use the Premises to construct two (2) hangar buildings, of approximately 14,400 square feet each, and related facilities (the "Improvements") for aircraft storage and operations and to conduct such other activities as are incidental and reasonably related to general aviation. Failure to store aircraft, cessation of such activities, or the carrying on of other type(s) of unauthorized activities shall constitute a material default by Lessee of this Lease. Lessee shall at all times operate on the Premises in a manner which will assure the safe, lawful and healthful use of the Premises. Lessee agrees that it will not disturb the Lessor or any other tenant of the Lessor by making or permitting any disturbances or any unusual noise, vibration or other condition on or in the Premises.

b. **Remedies for Non-Performance:** Should Lessee (or a sub-lessee) fail to conduct its operations on the Premises pursuant to the requirements of the section above entitled "BUSINESS PURPOSE" then Lessor may, by written notice to Lessee, declare Lessee to be in provisional default hereunder. Should Lessee not cure the basis(es) for such provisional default within twelve (12) months of such notice, then Lessor may pursue any and all remedies as set forth in Paragraph 28 entitled "DEFAULT AND RE-ENTRY" without necessity of engaging in initial discussions as described in said section.

c. Lessee will not permit any use or activity to be conducted upon the Premises that is not allowed by the Lease, Skagit County zoning ordinances or Port of Skagit County rules and regulations, Skagit Regional Airport Master Plan or Skagit Regional Airport Minimum Standards. Lessee will not enter into any sublease agreement when the proposed use of the Premises requires a Special Use Permit, rezone, variance of any kind, environmental impact statement or any other use that requires special permission by a governing body, without prior written consent of the Lessor, which shall not be unreasonably withheld.

d. Lessor reserves the right to adopt a policy or policies which specifically exclude certain types of business activities that are inconsistent with Lessor's planned development of the Skagit Regional Airport or the Bayview Business Park. Lessee hereby agrees to comply with all such policy or policies.

4. RENT

a. Beginning on the Occupancy Date, Lessee shall pay to Lessor, in lawful money of the United States, without any set-off or deduction, in addition to taxes, assessments, and other charges required to be paid hereunder by Lessee, an initial monthly rent for the Premises in an amount equal to the total square footage of the Premises, excluding the Access Routes, times \$0.0523 per square foot, plus

Washington leasehold excise tax (the "Rent"). Estimated Rent will be Eight Hundred Seventy Eight Dollars and Twenty-two Cents (\$878.22) plus Leasehold Excise Tax of One Hundred Twelve Dollars and Seventy-six Cents (\$112.76).

b. The Rent for each month shall be paid to the Lessor in advance on or before the first day of each and every month of the term of this Lease, and shall be payable at such place as the Lessor may hereinafter designate. The Rent may be further adjusted by the addition of other sums and charges specified elsewhere in this Lease. The Lessor shall have all of the same rights and remedies with respect to any additional rent or charges in the event of nonpayment or late payment as are available to it in the event of nonpayment or late payment of the Rent. The Rent shall be adjusted as provided in the below section entitled "PROCEDURE TO DETERMINE ANNUAL ADJUSTED RENT FOR INITIAL TERM."

5. PROCEDURE TO DETERMINE ANNUAL ADJUSTED RENT FOR INITIAL TERM.

During the Initial Term, beginning on the first day of the first month which is at least one (1) year after the Occupancy Date, and on the same date of each year thereafter ("Change Date"), Rent shall be adjusted according to the procedures set forth below in this paragraph, and beginning on the first day of the first month which is at least one (1) year after any Market Change Date, and on the same date of each year thereafter:

a. Definitions: The adjusted Rent rate(s) shall be determined in accordance with the formula set forth below. In applying the formula, the following definitions apply:

1) "Bureau" means the U.S. Department of Labor, Bureau of Labor Statistics or any successor agency.

2) "Price Index" means the Consumer Price Index for all U.S. City Average, All Urban Consumers, Region West – Size Class B/C, issued from time to time by the Bureau, or any other measure hereafter employed by the Bureau in lieu of the price index that measures the cost of living or if said Bureau should cease to issue such indices and any other agency of the United States should perform substantially the same function, then the indices issued by such other agency.

3) "Current Index" means the Price Index for the Annual most recent preceding Change Date.

4) "Prior Year Index" means the Price Index for the Annual year prior to the Current Index.

b. Formula: The Adjusted Rent shall be determined by multiplying the Rent rate (s) being adjusted by a multiplier equal to the change in the Price Index since the last

adjustment computed as follows:

$$\begin{aligned} \text{Current Index} - \text{Prior Year Index} &= \text{Index Point Change} \\ \text{Index Point Change} / \text{Prior Year Index} \times 100 &= \text{Percent Change} \end{aligned}$$
$$\text{Percent Change} \times \text{Rent being adjusted} = \text{Adjusted Rent}$$

The Price Index (1982-84 = 100) for Annual 2019 was 157.019.

6. PROCEDURE TO DETERMINE ADJUSTED RENT FOR OPTION PERIOD(S) - MARKET RENT VALUE

On the commencement of the Option Period(s) ("Market Change Date") the Rent shall be adjusted as follows:

a. The Rent shall be adjusted to be the market rent value of the Premises without taking into account the value of any Improvements. Lessor shall notify Lessee, not later than one hundred twenty (120) days prior to the "Market Change Date" of the amount of new market rent, as determined by the Port Commission.

b. If Lessee notifies the Lessor that it rejects the market rent value established by Lessor (the "Rejection Notice") within thirty (30) days following Lessee's receipt of Lessor's proposed new market rent, then the fair cash value of the Premises shall be determined. Such determination shall be made by a MAI appraiser whose selection shall be by mutual agreement of the parties. If the parties are unable to agree on the selection within fourteen (14) days of Lessee's notice of non-acceptance, then either party may file a motion requesting selection of a MAI appraiser by the presiding judge of the Superior Court of Skagit County, and the court-selected MAI appraiser shall determine the fair cash market value of the Premises. Once the fair cash market value of the Premises is determined, the rent amount shall be based on Lessor's then established rate of return for comparable leased properties. The cost of the appraisal shall be borne equally by both parties. No party shall be entitled to any statutory or contractual costs or attorney fees related to a petition to appoint an appraiser hereunder.

7. SECURITY FOR RENT

The Rent hereunder is secured by the Improvements on the Premises which shall revert to Lessor upon expiration of the Term, the value of which is equal to or in excess of one (1) year's Rent, plus leasehold excise tax.

8. LATE CHARGES

Lessee hereby acknowledges that late payment by Lessee to the Lessor of Rent, or any other sums due hereunder will cause the Lessor to incur costs not otherwise contemplated by this Lease. Accordingly, if any installment of Rent or any other sum due from Lessee shall not be received by the Lessor within ten (10) days after such amount shall be due, then, without any requirement for notice to Lessee, Lessee shall pay the Lessor a late charge equal to 5% of such overdue amount. The parties agree that such late charge represents a fair and reasonable estimate of the costs the Lessor will incur by reason of late payment by Lessee. Acceptance of such late charge by the Lessor shall in no event constitute a waiver of Lessee's default with respect to such overdue amount, nor prevent the Lessor from exercising any of the other rights and remedies granted hereunder. In the event that a late charge is payable in this Lease or otherwise, whether or not collected, for three (3) installments of Rent in any 12-month period, then Rent shall automatically become due and payable quarterly in advance, rather than monthly notwithstanding the above section entitled "RENT" or any other provision of this Lease to the contrary. In addition to the late charges provided for in this section, interest shall accrue on Rent, or any other sums due hereunder, at the rate of one and one-half percent (1 1/2%) per month from the date due until paid.

9. CONSTRUCTION OF IMPROVEMENTS

a. Construction of Improvements. Lessee intends to construct a hangar building Improvements (as defined herein) on the Premises, at Lessee's cost, as set forth in attached Exhibit 2. Lessee shall not commence construction of any Improvements or alterations including but not limited to structural changes, painting of the exteriors of structures or interior of any buildings, changes to wiring and plumbing, or install any fixtures, other than fixtures which can be removed without injury to the Premises, (collectively, "Improvements") without prior written consent of Lessor and subject to any and all conditions in such approval. Lessee shall submit to Lessor for its written approval all plans and specifications relating to such construction of Improvements in accordance with development standards adopted by the Port Commission from time to time. Should the Lessor not respond to such submission within sixty (60) days, the request shall be deemed approved. Appropriate landscaping, a necessary part of any Improvements, to be approved by the Lessor. The construction of all Improvements shall be carried out by Lessee in a first-class manner at its sole cost and expense, and in full compliance with all federal, state, county, and other governmental statutory and regulatory requirements and permits. Within six (6) months of completion of all Improvements, Lessee shall provide Lessor with two (2) hard copy sets and one (1) electronic version of as-built or recorded drawings. Until the expiration or sooner termination of this Lease, title to any Improvements situated and constructed by Lessee on the Premises, as well as title to fixtures and articles of

personal property attached to or used in connection with the Premises by Lessee, shall remain solely in Lessee.

10. DISPOSITION OF EQUIPMENT AND IMPROVEMENTS AT END OF LEASE

Upon termination of the Lease, Lessee shall have the right to remove all equipment, personal property and trade fixtures which may have been placed upon the Premises by Lessee during the period of this Lease, provided that the same are removed upon conclusion of the Lease and that the Lease is in good standing. Any such equipment, personal property and trade fixtures not removed from the Premises by the conclusion of the Lease shall revert to Lessor. If Lessee does not remove all equipment, personal property and trade fixtures which have been placed on the Premises by Lessee during the period of this Lease and Lessor wants the property removed, then the same shall be removed and stored at Lessee's expense and Lessor shall recover any costs and expenses from the Lessee resulting from the removal. All Improvements shall become the property of the Lessor.

11. CONDITION OF THE PREMISES

Lessee has (a) inspected the Premises and accepts the Premises in their present condition; (b) is not relying upon any covenants, warranties or representations of Lessor as to its condition or usability, except Lessor's right to grant a lease of the property; and (c) agrees to make any changes in the Premises necessary to conform to federal, state and local law applicable to Lessee's use of the Premises.

12. PERMITS

a. Lessee shall (i) be solely responsible for obtaining and complying with all permits, approvals or licenses required for the operation and conduct of Lessee's business activities and for all permits, approvals and licenses necessary for the construction, installation, erection and/or operation of the Improvements.

b. Lessee shall provide Lessor with a copy of the occupancy permit issued by the appropriate permitting agency before occupying any improvements.

13. INSURANCE COVERAGE

a. Casualty Insurance: Lessee shall, at Lessee's expense, cause to be maintained on all Improvements belonging to Lessee, and on all of Lessee's personal property on the Premises, casualty insurance with extended coverage in the amount of their replacement value.

b. Liability Insurance: Lessee shall, at its own expense, maintain throughout the

term of this lease, proper liability insurance with a reputable insurance company or companies satisfactory to the Lessor in the minimum of \$1,000,000 single limit liability, and a comprehensive general liability broadening endorsement (and hereafter in such increased amounts to be comparable and consistent with the going or standard coverage in the area for comparable business operations). The \$1,000,000 single limit liability will be adjusted at the beginning of each Option Period to the then current standard single limit amount stated in the general lease policy of the Lessor.

c. Certificates: The Lessor shall be named as one of the insured, and shall be furnished a copy of such policy or policies or certificate(s) of coverage, or both, at the Lessor's election. Each certificate of insurance shall provide that the insurance policy or policies are not subject to cancellation without at least thirty (30) days advance written notice of such cancellation having been first given to the Lessor.

14. WAIVER OF SUBROGATION

The Lessor and Lessee hereby mutually release each other, and their respective successors or assigns, from any liability and waive all right of recovery against each other from any loss from perils insured against under their respective insurance contracts, including any extended coverage endorsements thereto. Provided, that this section shall be inapplicable if it would have the effect, but only to the extent that it would have the effect, of invalidating any insurance coverage of Lessor or Lessee.

15. HOLD HARMLESS PROVISIONS, LIABILITY AND INDEMNITY

The Lessor, its officers, employees and agents, shall not be liable for any injury (including death) or damage to any persons or to any property sustained or alleged to have been sustained by the Lessee or by others as a result of any condition (including existing or future defects in the Premises), or occurrence whatsoever related in any way to the Premises or related in any way to the Lessee's use of the Premises or Lessee's performance under this Lease, except to the extent of such damage caused solely by negligence of the Lessor. Lessee agrees to defend and hold and save the Lessor, its officers, employees and agents, harmless from any and all liability or expense (including expense of litigation) in connection with any such items of actual or alleged injury or damage.

16. OFF STREET PARKING

Lessee agrees not to use any public streets, rights of way or other properties not included in this Lease for the parking of vehicles.

17. ADVERTISING AND SIGNS

No signs or other advertising matter, symbols, canopies or awnings shall be installed, attached to or painted on the Premises without the prior written approval of the Lessor's executive director, or the executive director's designee.

18. EQUAL OPPORTUNITY

The Lessee covenants and agrees that in the performance of this Lease, the Lessee shall conduct its activities in a manner that will assure fair, equal and nondiscriminatory treatment of all persons regardless of race, creed, sex, marital status or ethnic origin. Notwithstanding any exemption contained in the State or Federal law, the Lessee shall comply with all Federal and State laws, rules or regulations concerning hiring and employment and assuring the service of all patrons, customers, members or invitees without discrimination as to any person's race, creed, sex, marital status or ethnic origin.

19. LAWS AND REGULATIONS

a. The Lessee agrees, at its sole cost and expense, to conform to, comply with and abide by all lawful rules, codes, ordinances, requirements, orders, directions, laws and regulations of the United States, the State of Washington, and any municipality or agency of any of said entities, including rules and regulations of Lessor, including without limitation those relating to environmental matters, now in existence or hereafter promulgated, applicable to the Lessee's use and operation of said Premises, including the construction of any improvements thereon, and not to permit said Premises to be used in violation of any of said rules, codes, laws or regulations. Any fees for inspection of the Premises during or for the term of this Lease by any federal, state or municipal officer shall be paid by Lessee. Lessee shall pay all costs, expenses, liabilities, losses, damages, fines, penalties, claims, and demands, including reasonable counsel fees that may in any manner arise out of or be imposed because of the failure of Lessee to comply with the covenants of this section.

b. Lessee understands that the Premises are within the Lessor's Skagit Regional Airport, situated in the Port's Industrial Development District. Lessor has or may promulgate and adopt resolutions, regulations and covenants for the orderly development, maintenance, care and control of all property within said district. The same affect Lessee's use of the Premises. Lessee agrees to comply with such resolutions, regulations and covenants in force as of the date of this Lease and all other resolutions, regulations and covenants which may be promulgated by Lessor so

long as they do not discriminate against Lessee and do not prevent the conduct of Lessee's business operations.

20. HOLDOVER

a. Holdover as Tenant at Sufferance. If Lessee shall, without the written consent of the Lessor, hold over after the expiration of the term of this Lease, such tenancy shall be at sufferance, which tenancy may be terminated as then provided by the laws of the state of Washington. All provisions of this Lease, except those inconsistent with a tenancy at sufferance and Subsection 20(b), entitled "Rent and Terms," hereof shall remain in effect during such hold over period.

b. Rent and Terms. During such tenancy, the Lessee agrees to pay to Lessor a monthly rent equal to one and one-quarter (1-1/4) times the most recently required monthly rent amount applicable for the month in which the term hereof expired or was terminated, which rental amount the Lessee and Lessor agree is reasonable.

21. ENVIRONMENTAL PROVISIONS

This section delineates the Lessor's and the Lessee's rights and obligations with respect to the release, spillage, storage, transportation or any other aspect of handling hazardous or toxic materials of any nature ("Hazardous Material") regulated by federal and/or state law ("Hazardous Material Regulation").

a. Lessee covenants to defend, indemnify, and hold Lessor harmless ("Indemnify") from any imposition or attempted imposition by any person or entity upon Lessor of any obligation or cost ("liability") of whatever form, including, without limitation, damages for personal injury or property damage; claims; governmental investigations, proceedings or requirements; attorney fees in investigation, at trial or administrative proceeding, or on appeal; witness or consultant costs; or any other liability to the extent that such liability arises from a violation, or alleged violation, or from the failure to satisfy a requirement, or alleged requirement, of any Hazardous Material Regulation and/or any environmental or land use law or regulation or arising from the release, spillage, or any other mishandling or misuse of any Hazardous Material causing damage to the property of, or resulting in injury to, any third person or any third person's property, the Lessor's property and proximately resulting from use of the Premises during the term of this Lease, and without regard to when the liability is asserted.

b. In like manner as in subsection a. above, so Lessor shall Indemnify Lessee solely for liability proximately resulting from an affirmative act on the Premises by Lessor prior to the commencement of this Lease, or from conditions caused by Lessor subsequent to the Commencement Date.

c. Lessee acknowledges that it has visually inspected the Premises for legally impermissible Hazardous Material contamination and that none was apparent on the surface of the Premises from a visual inspection as of the date of this Lease. Lessee releases any and all claims against Lessor for the costs to remediate, or pay damages or penalties to any third party due to any Hazardous Material contamination which henceforth may be discovered on the Premises, including payment of all attorney fees and claims of loss of, or interference with, use of the Premises, except to the extent caused by an affirmative act of Lessor.

d. Lessee shall notify Lessor within twenty-four (24) hours of its discovery of any release of a reportable quantity of any Hazardous Material, or of the receipt by Lessee of any notices, orders or communications of any kind from any governmental entity which relate to the existence of or potential for Hazardous Material or environmental pollution of any kind existing on or resulting from the use of the Premises or any activity conducted thereon. If Lessee fails to comply with any of the requirements of this section, Lessor may undertake, without cost or expense to Lessor, any actions necessary to protect Lessor's interest including steps to comply with such laws.

e. Should any Hazardous Material be released on or under the premises during the term of this Lease or any extension thereof, then Lessee shall at its sole cost and expense promptly and diligently remove such Hazardous Material from the Premises or the water underlying the Premises in accordance with applicable Hazardous Materials Regulations and industry standards.

Lessee shall not take any required remedial action in response to any such contamination on or under the Premises or enter into any settlement agreement, consent, decree or other compromise in respect to any claims or enforcement actions relating to any such Hazardous Material without first notifying Lessor of Lessee's intention to do so and affording Lessor the opportunity to appear, intervene or otherwise appropriately assert and protect Lessor's interest with respect thereto.

Lessee shall promptly and diligently take all steps to prepare any remediation plan required for contamination, obtain all necessary approvals for such remediation plan, and thereafter commence the required remediation within thirty (30) days after Lessor has approved Lessee's remediation plan and all other necessary approvals and consents have been obtained, and thereafter continue to diligently prosecute said remediation to completion in accordance with the approved remediation plan. If Lessee fails to take such action, Lessor, in its sole discretion, may cause said remediation to be accomplished and Lessee shall reimburse Lessor therefore within thirty (30) days of Lessor's demand for reimbursement of all amounts reasonably paid by Lessor. Said demand shall be accompanied by proof of payment by Lessor of the amounts demanded. Late payments shall be subject to interest and charges set forth in the paragraph entitled "LATE CHARGES" above.

Lessee shall promptly deliver to Lessor copies of all hazardous waste manifests, and otherwise deliver such information to Lessor as Lessor may require, to evidence the

proper disposal of all Hazardous Material removed from the Premises as part of Lessee's remediation of any contamination. Except as discharged into the sanitary sewer in strict accordance and conformity with applicable Hazardous Materials Laws, Lessee shall cause all Hazardous Material removed from the Premises as part of the required remediation of contamination to be removed and transported solely by duly licensed haulers to duly licensed facilities for final disposal of such materials and wastes.

f. Any other provision of this Lease to the contrary notwithstanding, Lessee's breach of any covenant contained in this section shall be an event of default empowering Lessor, in addition to exercising any remedy available at law or in equity, to terminate this Lease and to evict Lessee from the Premises forthwith in the manner provided by law and herein, subject only to any Sublessee's right to cure the default and remain in possession under the terms of its Sublease.

22. MAINTENANCE / COMMIT NO WASTE

During construction of the Improvement and at all times prior to the Occupancy Date, Lessee shall, at its sole expense and at all times, keep the Premises neat, clean, and in a sanitary condition; and keep and use the Premises in accordance with applicable laws, ordinances, rules, regulations, and requirements of governmental authorities. After the Occupancy Date, Lessee shall be responsible for all maintenance and repair of the Premises and shall conduct such maintenance and repairs in a manner and at times necessary to keep the Improvements in first class condition.

23. UTILITIES / ASSESSMENTS

Lessee agrees to contract with the appropriate provider and pay for all public utilities which shall be used in or charged against the Premises, and to hold the Lessor harmless from such charges. With regard to utilities provided by the Lessor including drainage, Lessee will pay to Lessor according to the Lessor's or Skagit County Utility/Drainage District 19's established rate.

If not already paid, Lessee shall pay to the Lessor within thirty (30) days of demand, that amount that is due to Fire District No. 6 (pursuant to the Interlocal Agreement between the Fire District and Port District for construction of the Bayview Ridge Fire Station) for any industrial or commercial development of Lessee's property in the amount of \$244.00 per 1,000 square feet of development.

24. LIENS AND INSOLVENCY

Lessee shall keep the Premises free from any liens arising out of work performed, materials furnished, or obligations incurred by Lessee. In the event Lessee becomes insolvent, voluntarily or involuntarily bankrupt, or if a receiver, assignee or other liquidating officer is appointed for the business of the Lessee, then the Lessor may

cancel this Lease at Lessor's option.

25. TAXES

From the Occupancy Date, Lessee shall pay any taxes on the Premises and/or on the leasehold interest created by this Lease and/or any activity arising under this Lease.

26. COSTS AND ATTORNEYS' FEES

If by reason of default on the part of either party to this Lease agreement it becomes necessary to employ an attorney to recover any payments due hereunder or to enforce any provision of this Lease, the prevailing party, whether such party be the successful claimant or the party who successfully defended against the claim of the other party, shall be entitled to recover a reasonable attorney's fee and to be reimbursed for such costs and expenses as may have been incurred by such prevailing party, including those incurred on appeal.

27. TERMINATION

a. Upon termination of this Lease or any extension thereof, whether by expiration of the stated term or sooner termination thereon as herein provided, Lessee shall surrender to Lessor said Premises peaceably and quietly and in the condition required under the paragraphs entitled "MAINTENANCE/COMMIT NO WASTE" and "DISPOSITION OF EQUIPMENT AND IMPROVEMENTS AT END OF LEASE."

b. The provisions of the following paragraphs shall survive termination of this Lease: 14, 15, 19, 22, 23, 24, 25, 32, and 33.

c. The Lessor has the right to request that Lessee remove all Improvements; at Lessee's expense.

28. DEFAULT AND RE-ENTRY

(i) Subject only to any Sublessee's right to cure the default and remain in possession under the terms of its Sublease, if (a) any Rent or other payment due from Lessee hereunder remains unpaid for more than five (5) days after the date it is due; (b) Lessee files a voluntary petition in bankruptcy or makes a general assignment to the benefit of, or a general arrangement with, creditors; (c) there is an involuntary bankruptcy filed against Lessee that has not been dismissed within thirty (30) days of filing; (d) Lessee becomes insolvent; or (e) a receiver, trustee, or liquidating officer is appointed for Lessee's business; or (ii) If Lessee violates or breaches any of the other covenants, agreements, stipulations or conditions herein, and such violation of breach shall continue for a period of ninety (90) days after written notice of such violation or breach is sent to Lessee, (each a "Default") Lessor may at its option, declare this Lease

forfeited and the term hereof ended, or without terminating this Lease elect to re-enter and attempt to relet, in which event Lessee authorizes Lessor to relet the Premises or any part thereof for such term or terms (which may be for a term extending beyond the term of this Lease) and at such rent or rents and upon such other terms and conditions as Lessor in its sole discretion deems advisable. Upon each such reletting, all rents received by Lessor from such reletting shall be applied, first, to the payment of any amounts other than rent due hereunder from Lessee to Lessor; second, to the payment of any costs and expenses of such reletting and renovation, including brokerage fees and attorneys' fees; third, to the payment of rent due and unpaid hereunder, and the residue, if any shall be held by Lessor and applied to payment of future rent as the same may become due and payable hereunder. If rent received from such reletting during any month are less than that to be paid during that month by Lessee hereunder, Lessee shall pay any such deficiency to Lessor, and Lessee covenants and agrees to pay Lessor for all other expenses resulting from its Default, including, but not limited to, brokerage commissions, attorneys fees and the reasonable cost of converting the premises for the benefit of the next lessee. Delinquent rent and other payments shall bear interest at the rate of twelve percent (12%) per annum from the date due until paid. In the event of any Lessee Default hereunder and entry in, or taking possession of, the Premises, Lessor shall have the right, but not the obligation, to remove from the Premises all personal property located therein, and may store the same in any place selected by Lessor, including but not limited to a public warehouse, at the expense and risk of the owners thereof, with the right to sell such stored property, without notice to Lessee, after it has been stored for a period of thirty (30) days or more, with the proceeds of such sale to be applied to the cost of such sale and to the payment of charges for storage, and to the payment of any other sums of money which may then be due from Lessee to Lessor under any of the terms hereof.

29. ASSIGNMENT AND SUBLEASE

Lessee shall not, by operation of law or otherwise, assign or sublease any portion of the Premises except as set forth below.

a. Lessee may assign this Lease to a successor person or entity after approval by the Lessor subject to the following process:

1) Lessee shall provide to Lessor notice of intent to assign Lease no less than sixty (60) days prior to the intended assignment. Such notice shall be in writing and shall at a minimum include: The assignee's name, representative, mailing and e-mail addresses, telephone and facsimile numbers.

2) The Assignee shall, at least forty-five (45) days prior to the intended assignment date, provide: (i) full and complete information, as requested by Lessor, as to Lessee's financial ability and operational/business experience to

successfully conduct business in the Premises and meet the obligations, financial and otherwise, under this Lease, including references; and (ii) assignee's proposed business plan for operations under the Lease in the Premises (collectively, "Assignee's Documentation").

3) Lessor shall, within thirty (30) days of receipt of the complete Assignee's Documentation, approve or approve with conditions the assignment/assignee unless it articulates in writing a reasonable basis for rejection consistent with its then-current approval criteria for tenants at Bayview Business Park or it articulates in writing the basis for its reasonable determination that the assignee cannot meet the terms of this Lease; *provided*, that Lessor's consent may, in any event, be conditioned on the requirement that there be no uncured defaults in the Lessee's obligations under this Lease by or at the date of the assignment and/or that the assignee meet certain reasonable conditions to assure compliance with the terms of the Lease, regulatory requirements, the Lessor's mission, vision and/or development standards.

b. The consent of Lessor to any assignment or sublease shall not in any manner be construed to relieve Lessee from: 1) the requirement to obtain Lessor's express written consent to any other or further assignment; 2) its duties and obligations under the Lease.

c. Lessee will not permit any use or activity to be conducted upon the Premises that is not allowed by the Lease, Skagit County zoning ordinances or Port of Skagit County rules and regulations. Lessee will not enter into any sublease agreement when the proposed use of the Premises requires a Special Use Permit, rezone, variance of any kind, environmental impact statement or any other use that requires special permission by a governing body, without prior written consent of the Lessor, which shall not be unreasonably withheld.

d. Lessor reserves the right to adopt a policy or policies which specifically exclude certain types of business activities that are inconsistent with Lessor's planned development of the Skagit Regional Airport or the Bayview Business Park. Lessee hereby agrees to comply with all such policy or policies that are not inconsistent with the paragraph entitled "BUSINESS PURPOSE."

e. As a condition to any assignment or sublease, Lessor may revise the rent to be consistent with its then current rent policy. The sale or transfer (whether in a single transaction or cumulatively) of fifty percent (50%) or more of the equity in Lessee shall be considered an assignment.

f. Lessee, and any of its permitted successors and assigns, may encumber its interest in this lease in favor of a third party lender ("Leasehold Mortgagee") with

Lessor's prior written consent, substantially in the Port's standard form of consent to assignment, as set forth in Exhibit 3 attached hereto.

30. LESSOR'S RIGHT TO ENTER PREMISES

Lessor and/or its authorized representatives shall have the right to enter the Premises at all reasonable times for any of the purposes set forth below. Except in the event of bona fide emergencies, Lessor shall provide notice to Lessee and any Sublessee not less than two business days in advance of any such inspection.

- a. To determine whether or not the Premises are in good condition or whether the Lessee is complying with its obligations under this Lease; and
- b. To do any necessary maintenance and to make any restoration to the Premises that the Lessor has the right or obligation to perform; and
- c. To repair, maintain or improve the Aprons Improvements Lease Premises ; and
- d. To do any other act or thing necessary for the safety or preservation of the Premises.

Lessor shall not be liable in any manner for any inconvenience, disturbance, loss of business, nuisance, or other damage arising out of the Lessor's entry onto the premises as provided in this section. Lessor shall conduct its activities on the Premises as provided herein in a manner that will cause the least inconvenience, annoyance or disturbance to the Lessee.

31. RETENTION OF AIRSPACE RIGHTS BY LESSOR

Lessor retains the public and private right of flight for the passage of aircraft in the airspace above the surface of the Premises, together with the right to cause in said airspace such noise as may be inherent in the operation of aircraft, now known or as hereinafter used, for navigation of or flight in said airspace and for use of said airspace for taking off from, landing on or operating at Skagit Regional Airport.

32. FEDERAL AVIATION ADMINISTRATION REQUIREMENTS

Lessee agrees:

- a. To prevent any operation on the Premises which would produce electromagnetic radiation of a nature which would cause interference with security gates, any existing or future navigational aid or communication aid serving Skagit Regional Airport, or which would create any interfering or confusing light or in any way restrict visibility at the Airport; and

b. To prevent any use of the Premises which would interfere with landing or taking off of aircraft at Skagit Regional Airport, or otherwise constitute an aviation hazard.

33. NOTICES

All notices or payment hereunder may be delivered or mailed. Below are the addresses of the parties:

LESSOR: Port of Skagit County
15400 Airport Drive
Burlington, WA 98233

Phone: (360) 757-0011
FAX: (360) 757-0014

LESSEE: Joseph W. Fisher II and Barbara Ann
Fisher Trust
14672 S Ave 4 1 / 4 E
Yuma, AZ 85365

34. MISCELLANEOUS

It is mutually agreed and understood that time is of the essence of this lease and that a waiver of any Default of Lessee shall not be construed as a waiver of any subsequent Default, and that any notice required to be given under this lease may be given by United States Mail addressed to the party identified in the paragraph entitled "NOTICES" of this lease.

IN WITNESS WHEREOF, Lessor has caused this instrument to be signed by its president and secretary on the date and year first above written.

LESSOR:

LESSEE:

PORT OF SKAGIT COUNTY

JOSEPH W. FISHER II


Commission President



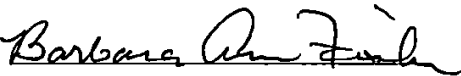
Date: 8-11-20

Date: 8-7-20

Commission Secretary

BARBARA ANN FISHER





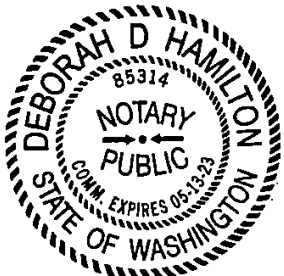
Date: 8-11-20

Date: 8-7-20

STATE OF WASHINGTON)
) ss.
COUNTY OF SKAGIT)

On this 11th day of August, 2020, before me, the undersigned, a Notary Public in and for the state of Washington, duly commissioned and sworn, personally appeared Steve Omdal and Kevin Ware, to me known to be the president and secretary, respectively of the Port Commission of the Port of Skagit County, a municipal corporation, the corporation that executed the foregoing instrument, and acknowledged the said instrument to be the free and voluntary act and deed of said corporation, for the uses and purposes therein mentioned, and on oath stated that they are authorized to execute the said instrument.

Witness my hand and official seal hereto affixed the day and year first above written.



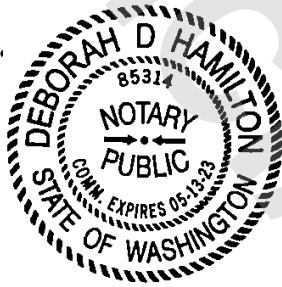
Deborah D. Hamilton
Notary Public in and for the state of
Washington, residing at Burlington WA
My commission expires: 5-13-23
Printed Name: Deborah D.

Lessor: Port of Skagit County
Lessee: Joseph W. Fisher II and Barbara Ann Fisher Trust

STATE OF WASHINGTON)
) ss.
COUNTY OF SKAGIT)

On this 7th day of August 2020, before me, the undersigned, a Notary Public in and for the state of Washington, duly commissioned and sworn, personally appeared Joseph W. Fisher II and Barbara Ann Fisher, to me known to be the trustees that executed the foregoing instrument, and acknowledged the said instrument to be the free and voluntary act and deed of said company, for the uses and purposes therein mentioned, and on oath stated that he is authorized to execute the said instrument.

Witness my hand and official seal hereto affixed the day and year first above written.



Deborah D. Hamilton
Notary Public in and for the state of
Washington, residing at Burlington WA
My commission expires: 5-13-23
Printed Name: Deborah D. Hamilton

FISHER HANGARS
PROPOSED HANGAR & SITE IMPROVEMENTS

CALL TWO
BEFORE YOU DIG
'911'

LEGEND

| | | | |
|--|----------------------------|--|----------------------------|
| | PROPOSED SANITARY SEWER | | EXISTING SANITARY SEWER |
| | PROPOSED STORM SEWER | | EXISTING STORM SEWER |
| | PROPOSED WATER MAIN | | EXISTING WATER MAIN |
| | PROPOSED GAS MAIN | | EXISTING GAS MAIN |
| | PROPOSED ELECTRIC MAIN | | EXISTING ELECTRIC MAIN |
| | PROPOSED SEWER VAULT | | EXISTING SEWER VAULT |
| | PROPOSED MANHOLE | | EXISTING MANHOLE |
| | PROPOSED CATCH BASIN | | EXISTING CATCH BASIN |
| | PROPOSED STORM INLET | | EXISTING STORM INLET |
| | PROPOSED WATER VALVE | | EXISTING WATER VALVE |
| | PROPOSED FIRE HYDRANT | | EXISTING FIRE HYDRANT |
| | PROPOSED TRANSFORMER | | EXISTING TRANSFORMER |
| | PROPOSED POLE | | EXISTING POLE |
| | PROPOSED GAS VALVE | | EXISTING GAS VALVE |
| | PROPOSED ELECTRIC VALVE | | EXISTING ELECTRIC VALVE |
| | PROPOSED STREET LIGHT | | EXISTING STREET LIGHT |
| | PROPOSED TRAFFIC SIGN | | EXISTING TRAFFIC SIGN |
| | PROPOSED UTILITY STRUCTURE | | EXISTING UTILITY STRUCTURE |
| | PROPOSED EASEMENT | | EXISTING EASEMENT |
| | PROPOSED RIGHT-OF-WAY | | EXISTING RIGHT-OF-WAY |
| | PROPOSED ACCESS DRIVE | | EXISTING ACCESS DRIVE |

CONTACTS:

POINT OF SEAGIRT CO.
1460 ASPECT DRIVE
78001
TEL: (252) 797-2727
WWW.POINTOFSEAGIRT.COM

CIVIL ENGINEER
1025 UNIVERSITY DRIVE
RTP, NC 27597
TEL: (919) 771-2000
WWW.TRIANGLEENGINEERING.COM

CASTLE ENGINEERING
1500 UNIVERSITY DRIVE
RTP, NC 27597
TEL: (919) 771-2000
WWW.CASTLEENGINEERING.COM

PIRELLA GÖTTSCHE LOWE
300 SOUTH PARKWAY
RTP, NC 27597
TEL: (919) 771-2000
WWW.PGLA.COM

STREETScape
1025 UNIVERSITY DRIVE
RTP, NC 27597
TEL: (919) 771-2000
WWW.STREETScape.COM

CASCADE NATURAL GAS
1025 UNIVERSITY DRIVE
RTP, NC 27597
TEL: (919) 771-2000
WWW.CASCADENG.COM

AVIA ENGINEERS
1025 UNIVERSITY DRIVE
RTP, NC 27597
TEL: (919) 771-2000
WWW.AVIAENGINEERS.COM

TRIP/T FIBER
1025 UNIVERSITY DRIVE
RTP, NC 27597
TEL: (919) 771-2000
WWW.TRIPFIBER.COM

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WWW.TRIPFIBER.COM

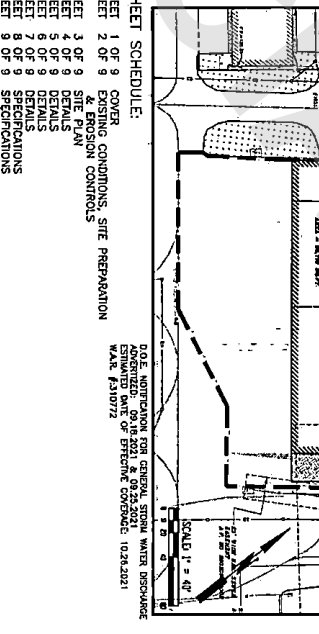
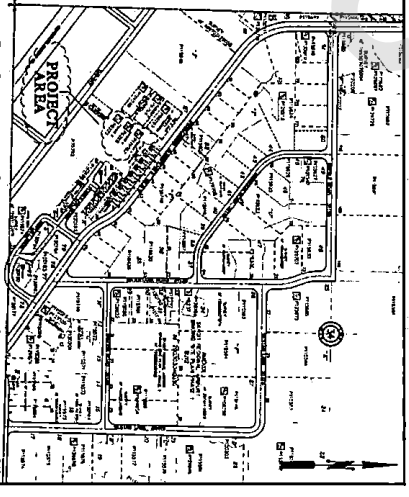
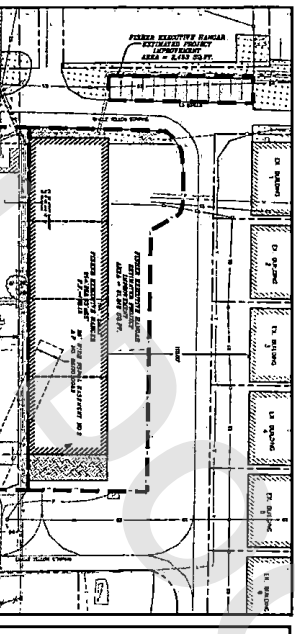
TRIP/T FIBER
1025 UNIVERSITY DRIVE
RTP, NC 27597
TEL: (919) 771-2000
WWW.TRIPFIBER.COM

SURVEY INFORMATION

EXISTING STRUCTURES, UTILITIES, AND SURFACE CONDITIONS TO BE MAINTAINED OR REMOVED IN ACCORDANCE WITH THE CITY OF SEAGIRT ZONING ORDINANCE AND CITY ENGINEERING DEPARTMENT SPECIFICATIONS. ALL SURVEYS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SEAGIRT ZONING ORDINANCE AND CITY ENGINEERING DEPARTMENT SPECIFICATIONS. ALL SURVEYS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SEAGIRT ZONING ORDINANCE AND CITY ENGINEERING DEPARTMENT SPECIFICATIONS.

RAVNIK & Associates, Inc.
CIVIL ENGINEERING & LAND-USE PLANNING
143 LINDENWOOD LANE, SUITE 300
FARMINGTON, NC 27834
PHONE: (919) 753-2544 FAX: (919) 753-2544
WWW.RAVNIK.COM

| NO. | DATE | BY | REVISION |
|-----|------------|----|--|
| 1 | 11/22 | AS | ISSUED FOR PERMIT |
| 2 | 08/12/2023 | AS | REVISED PER CITY ENGINEERING DEPARTMENT COMMENTS |
| 3 | 08/12/2023 | AS | REVISED PER CITY ENGINEERING DEPARTMENT COMMENTS |
| 4 | 08/12/2023 | AS | REVISED PER CITY ENGINEERING DEPARTMENT COMMENTS |
| 5 | 08/12/2023 | AS | REVISED PER CITY ENGINEERING DEPARTMENT COMMENTS |



QUALIFICATION OF TRENCH DRAIN CONNECTION TO CITY SANITARY SEWER:
THE TRENCH DRAIN SHALL BE CONNECTED TO THE CITY SANITARY SEWER IN ACCORDANCE WITH THE CITY OF SEAGIRT ZONING ORDINANCE AND CITY ENGINEERING DEPARTMENT SPECIFICATIONS. ALL TRENCH DRAIN CONNECTIONS SHALL BE IN ACCORDANCE WITH THE CITY OF SEAGIRT ZONING ORDINANCE AND CITY ENGINEERING DEPARTMENT SPECIFICATIONS. ALL TRENCH DRAIN CONNECTIONS SHALL BE IN ACCORDANCE WITH THE CITY OF SEAGIRT ZONING ORDINANCE AND CITY ENGINEERING DEPARTMENT SPECIFICATIONS.

FOR AS-CONSTRUCTED INFORMATION ONLY

FOR AS-CONSTRUCTED INFORMATION ONLY

PLAN STATUS: RECORD DRAWINGS

PROJECT: FISHER MANAGEMENT PROPOSED HANGAR & SITE IMPROVEMENTS
SECTION 33, T. 35 N. R. 3 E. W.M.

DRAWN BY: D. GARDNER
CHECKED BY: J. SHAWK
DATE: 06/12/2023

SHEET NO. 23 OF 9
SHEET TITLE: FISHER HANGARS PROPOSED HANGAR & SITE IMPROVEMENTS
DATE: 06/12/2023

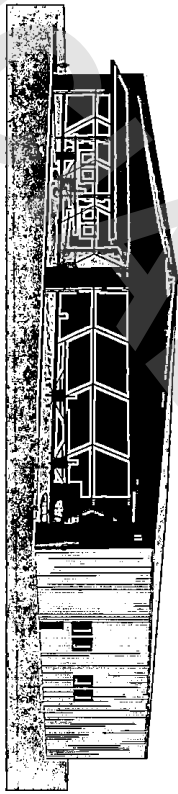
DATE: 06/12/2023

Ravnik & Associates, Inc.
CIVIL ENGINEERING & LAND-USE PLANNING
143 LINDENWOOD LANE, SUITE 300
FARMINGTON, NC 27834
PHONE: (919) 753-2544 FAX: (919) 753-2544
WWW.RAVNIK.COM

EXHIBIT 2

FISHER HANGARS AT SKAGIT AIRPORT

BURLINGTON, WASHINGTON
 IFC 5-15-2022



IFC

Prepared by
Fisher Hangars

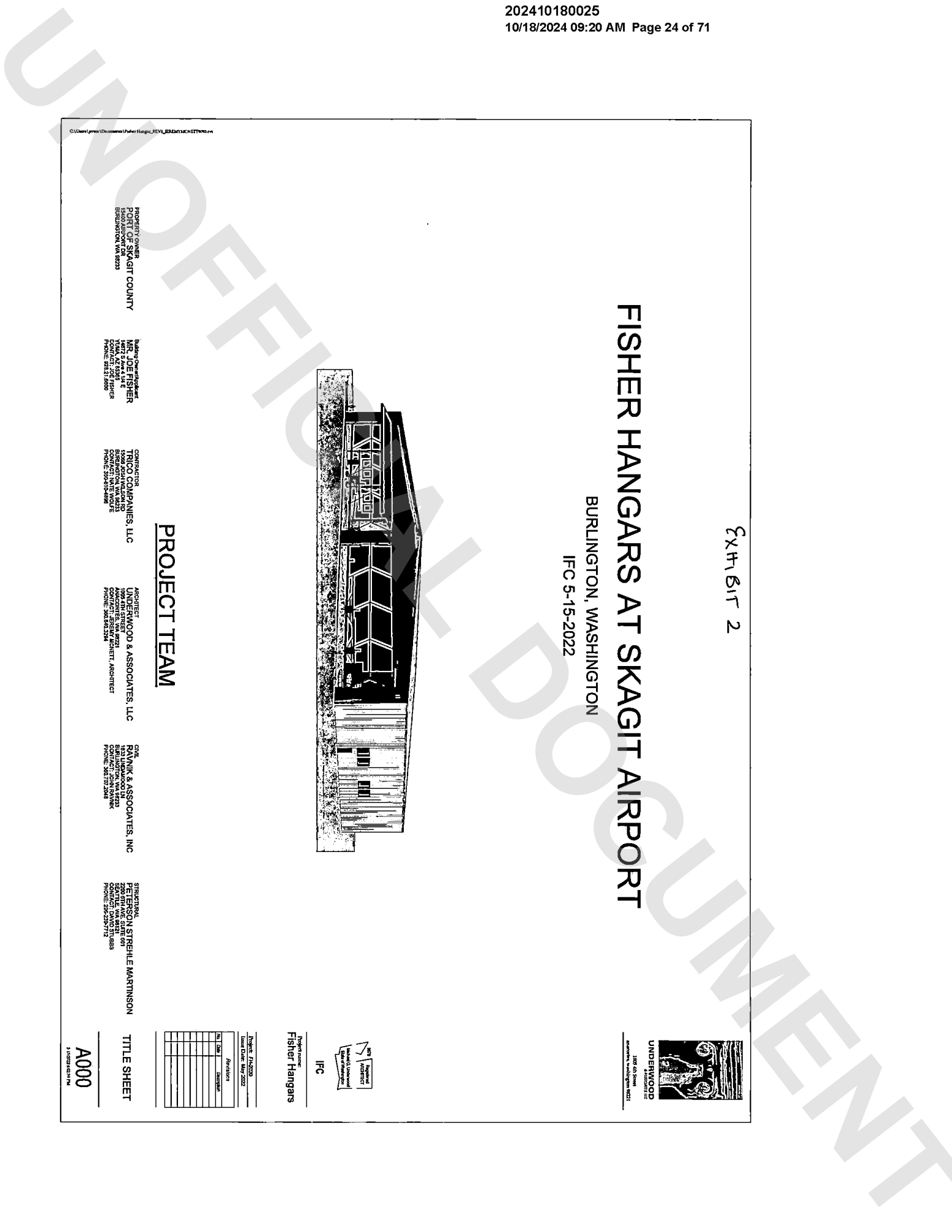
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| Project # | 114200 |
| Issue Date | May 2022 |
| Author | Design |
| | |
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TITLE SHEET

A000
 5/10/2022 10:24 AM

PROJECT TEAM

- PROPERTY OWNER**
 PORT OF SKAGIT COUNTY
 1000 W. 1ST ST
 BURLINGTON, WA 98223
- Building Owner/Developer**
 MRS. JOE FISHER
 1000 W. 1ST ST
 BURLINGTON, WA 98223
 PHONE: 360-571-2800
- CONTRACTOR**
 TRICO COMPANIES, LLC
 1000 W. 1ST ST
 BURLINGTON, WA 98223
 PHONE: 360-571-2800
- ARCHITECT**
 UNDERWOOD & ASSOCIATES, LLC
 1000 W. 1ST ST
 BURLINGTON, WA 98223
 PHONE: 360-571-2800
- CIVIL**
 RAVNIK & ASSOCIATES, INC
 1000 W. 1ST ST
 BURLINGTON, WA 98223
 PHONE: 360-571-2800
- STRUCTURAL**
 PETERSON STREHLE MARTINSON
 1000 W. 1ST ST
 BURLINGTON, WA 98223
 PHONE: 360-571-2800



FISHER HANGARS & SITE IMPROVEMENTS

LEGEND

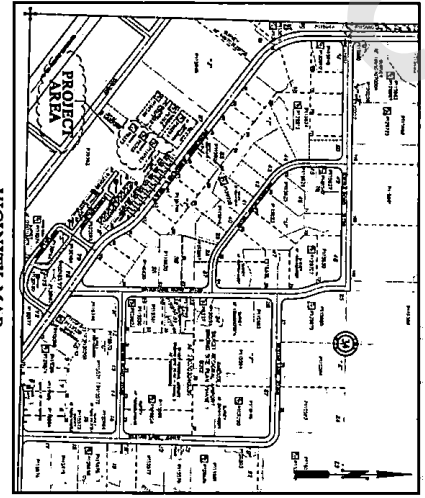
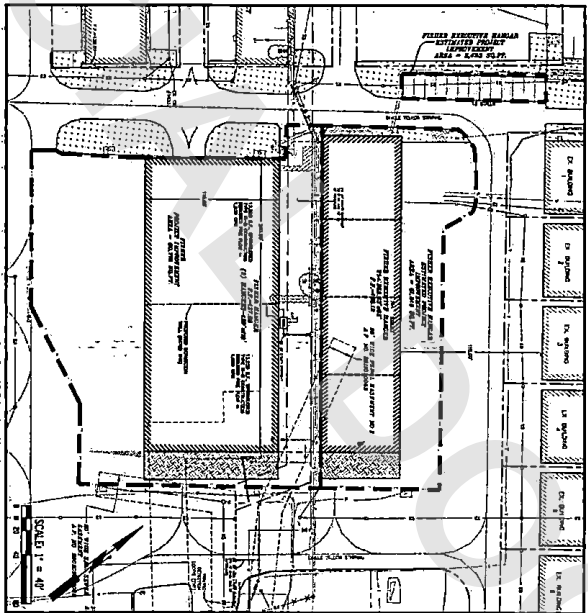
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| [Symbol] | PROPOSED ASPHALT | [Symbol] | PROPOSED ASPHALT DRIVE |
| [Symbol] | PROPOSED ASPHALT DRIVE | [Symbol] | PROPOSED ASPHALT DRIVE |
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| [Symbol] | PROPOSED ASPHALT DRIVE | [Symbol] | PROPOSED ASPHALT DRIVE |

CONTACTS:

WATER PIPERATOR
 PORT OF SKAGIT CO
 2000 KANGAROO DRIVE
 SEASIDE, WA 98148
 TEL: (360) 343-2200
 FAX: (360) 343-2201
 WWW: www.portofskagit.com

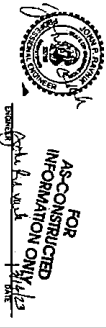
WATER PIPERATOR
 2000 KANGAROO DRIVE
 SEASIDE, WA 98148
 TEL: (360) 343-2200
 FAX: (360) 343-2201
 WWW: www.portofskagit.com

CITY OF BURLINGTON
 111 N. GASTAUX AVENUE
 BURLINGTON, WA 98233
 TEL: (360) 747-2000
 FAX: (360) 747-2001
 WWW: www.cityofburleson.com



SHEET SCHEDULE:

| NO. | DESCRIPTION | DATE |
|-----|----------------------|----------|
| 1 | COVER | 11/23/23 |
| 2 | GENERAL NOTES | 11/23/23 |
| 3 | EXISTING CONDITIONS | 11/23/23 |
| 4 | CONSTRUCTION CONTROL | 11/23/23 |
| 5 | CONSTRUCTION CONTROL | 11/23/23 |
| 6 | CONSTRUCTION CONTROL | 11/23/23 |
| 7 | CONSTRUCTION CONTROL | 11/23/23 |
| 8 | CONSTRUCTION CONTROL | 11/23/23 |
| 9 | CONSTRUCTION CONTROL | 11/23/23 |



PLAN STATUS: RECORD DRAWINGS

SHEET TITLE:
**FISHER MANAGEMENT
 PROPOSED HANGAR &
 SITE IMPROVEMENTS**

SECTION 33, T. 35 N., R. 3 E., W.M.

DATE: 11/23/23

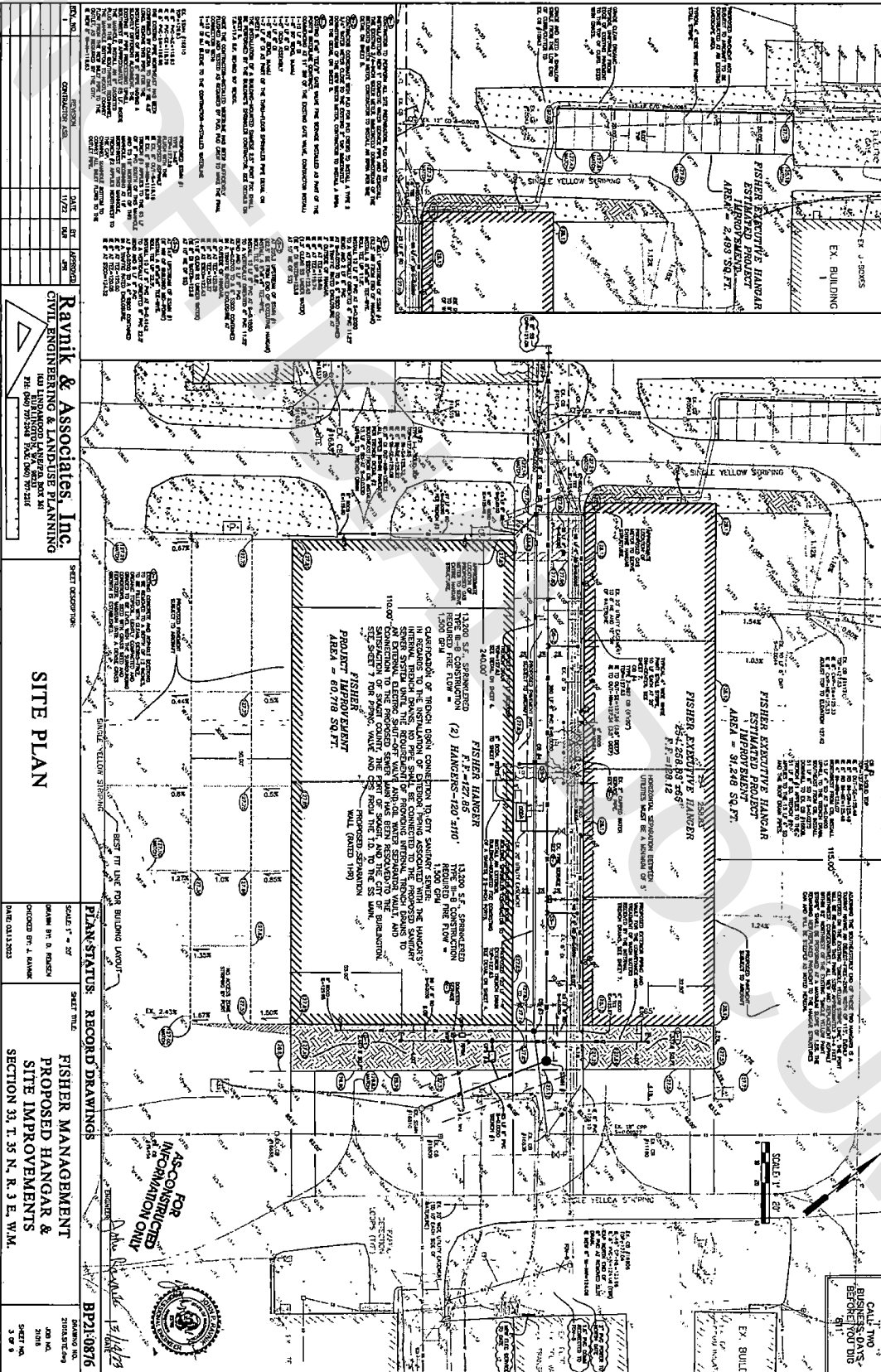
BY: JSS/ML

CHECKED: JSS/ML

RAVNIK & ASSOCIATES, Inc.
 CIVIL ENGINEERING & LAND-USE PLANNING
 1830 HUNTERS TRAIL
 SEASIDE, WA 98148
 TEL: (360) 735-5840
 FAX: (360) 735-5841
 WWW: www.ravnik.com

COVER

BP21-0876



| NO. | REVISION | DATE | BY | APPROVED |
|-----|------------------|----------|----|----------|
| 1 | CONSTRUCTION SET | 11/22/23 | AK | |

Ravnik & Associates, Inc.
 CIVIL ENGINEERING & LAND-USE PLANNING
 1431 LINDENWOOD LANE, SUITE 101
 THE ROCKY MOUNTAIN PLAZA, DENVER, CO 80202
 TEL: 303.733.2244 FAX: 303.733.2414

SITE PLAN

PLAN STATUS: RECORD DRAWINGS

SCALE: 1" = 20'
 DRAWN BY: S. ROBINSON
 CHECKED BY: J. BARNER
 DATE: 03.13.2023

FISHER MANAGEMENT PROPOSED HANGAR & SITE IMPROVEMENTS
 SECTION 33, T. 35 N., R. 3 E., W.M.

DATE: 10/18/24

PROJECT NO.: BP21-0876

SHEET NO.: 3 OF 9

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL FIRE CODE (IFC).

3. ALL UTILITIES SHALL BE LOCATED AND DEPTH NOTED.

4. ALL ELEVATIONS ARE TO FINISH GRADE UNLESS OTHERWISE NOTED.

5. ALL DISTANCES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

6. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE GENERAL NOTES ON SHEET 33.1.

7. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS ON SHEET 33.2.

8. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE SCHEDULE ON SHEET 33.3.

9. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE LEGEND ON SHEET 33.4.

10. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE INDEX ON SHEET 33.5.

11. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL FIRE CODE (IFC).

12. ALL UTILITIES SHALL BE LOCATED AND DEPTH NOTED.

13. ALL ELEVATIONS ARE TO FINISH GRADE UNLESS OTHERWISE NOTED.

14. ALL DISTANCES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

15. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE GENERAL NOTES ON SHEET 33.1.

16. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS ON SHEET 33.2.

17. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE SCHEDULE ON SHEET 33.3.

18. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE LEGEND ON SHEET 33.4.

19. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE INDEX ON SHEET 33.5.

20. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL FIRE CODE (IFC).

21. ALL UTILITIES SHALL BE LOCATED AND DEPTH NOTED.

22. ALL ELEVATIONS ARE TO FINISH GRADE UNLESS OTHERWISE NOTED.

23. ALL DISTANCES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

24. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE GENERAL NOTES ON SHEET 33.1.

25. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS ON SHEET 33.2.

26. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE SCHEDULE ON SHEET 33.3.

27. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE LEGEND ON SHEET 33.4.

28. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE INDEX ON SHEET 33.5.

29. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL FIRE CODE (IFC).

30. ALL UTILITIES SHALL BE LOCATED AND DEPTH NOTED.

31. ALL ELEVATIONS ARE TO FINISH GRADE UNLESS OTHERWISE NOTED.

32. ALL DISTANCES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

33. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE GENERAL NOTES ON SHEET 33.1.

34. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS ON SHEET 33.2.

35. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE SCHEDULE ON SHEET 33.3.

36. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE LEGEND ON SHEET 33.4.

37. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE INDEX ON SHEET 33.5.

38. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL FIRE CODE (IFC).

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41. ALL DISTANCES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

42. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE GENERAL NOTES ON SHEET 33.1.

43. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS ON SHEET 33.2.

44. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE SCHEDULE ON SHEET 33.3.

45. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE LEGEND ON SHEET 33.4.

46. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE INDEX ON SHEET 33.5.

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60. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE GENERAL NOTES ON SHEET 33.1.

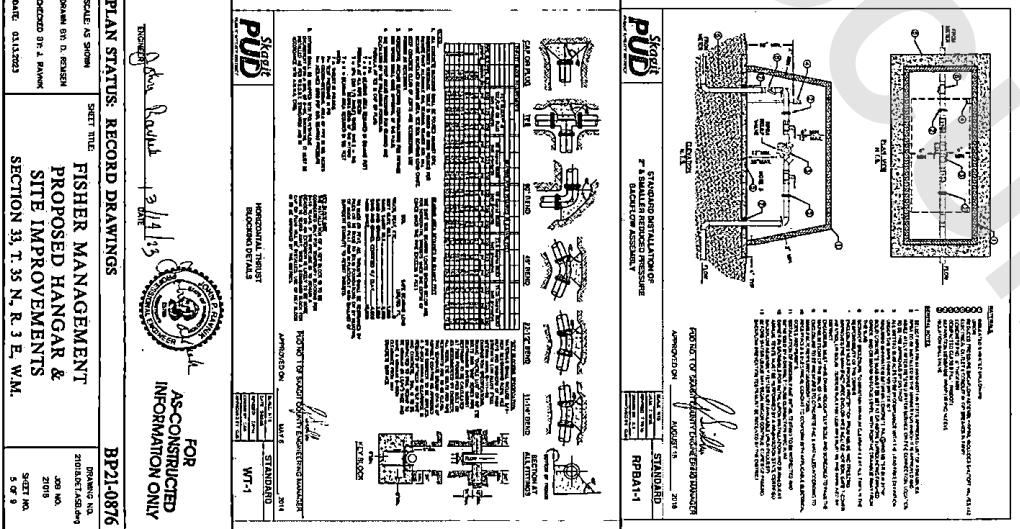
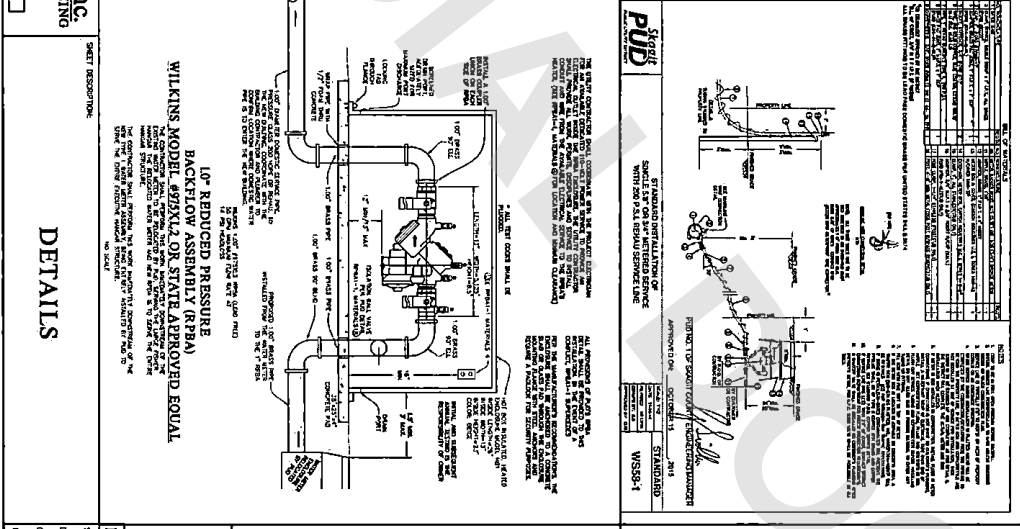
61. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS ON SHEET 33.2.

62. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE SCHEDULE ON SHEET 33.3.

63. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE LEGEND ON SHEET 33.4.

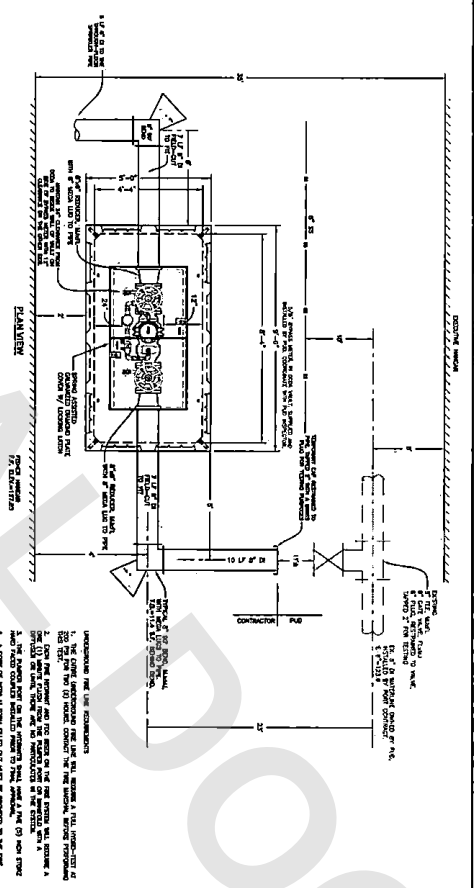
64. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE INDEX ON SHEET 33.5.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.

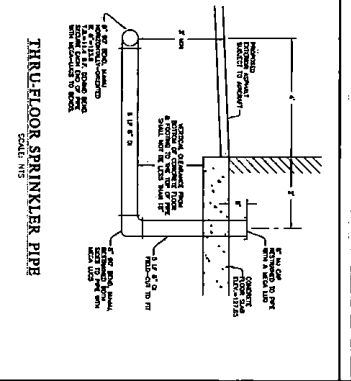


FOR AS-CONSTRUCTED INFORMATION ONLY
BP21-0876
DATE: 01/12/23
JOB NO. 2308
SHEET NO. 5 OF 9

THIS PLAN IS PREPARED FOR THE APPROXIMATE CHARGES
BASED ON THE ASSUMPTIONS MADE BY THE ENGINEER
AND THE INFORMATION FURNISHED TO HIM BY THE OWNER.
IT IS THE OWNER'S RESPONSIBILITY TO OBTAIN ALL
NECESSARY PERMITS AND APPROVALS FROM THE
APPLICABLE AGENCIES. THE ENGINEER SHALL NOT
BE RESPONSIBLE FOR THE OBTAINING OF SUCH PERMITS
AND APPROVALS. THE ENGINEER SHALL NOT BE
RESPONSIBLE FOR THE CONSTRUCTION OF THE WORK
SHOWN ON THIS PLAN. THE ENGINEER SHALL NOT BE
RESPONSIBLE FOR THE MAINTENANCE OF THE WORK
SHOWN ON THIS PLAN. THE ENGINEER SHALL NOT BE
RESPONSIBLE FOR THE REPAIR OF THE WORK SHOWN
ON THIS PLAN. THE ENGINEER SHALL NOT BE
RESPONSIBLE FOR THE REPLACEMENT OF THE WORK
SHOWN ON THIS PLAN. THE ENGINEER SHALL NOT BE
RESPONSIBLE FOR THE REMOVAL OF THE WORK SHOWN
ON THIS PLAN. THE ENGINEER SHALL NOT BE
RESPONSIBLE FOR THE RELOCATION OF THE WORK
SHOWN ON THIS PLAN. THE ENGINEER SHALL NOT BE
RESPONSIBLE FOR THE RENOVATION OF THE WORK
SHOWN ON THIS PLAN. THE ENGINEER SHALL NOT BE
RESPONSIBLE FOR THE RECONSTRUCTION OF THE WORK
SHOWN ON THIS PLAN. THE ENGINEER SHALL NOT BE
RESPONSIBLE FOR THE REPAIR, REPLACEMENT, OR
REMOVAL OF ANY PORTION OF THE WORK SHOWN
ON THIS PLAN. THE ENGINEER SHALL NOT BE
RESPONSIBLE FOR THE CONSTRUCTION, MAINTENANCE,
REPAIR, REPLACEMENT, OR REMOVAL OF ANY
PORTION OF THE WORK SHOWN ON THIS PLAN.



UNDERSTANDING THE USE REQUIREMENTS
1. THE SPRINKLER SHALL BE INSTALLED IN THE CEILING OF THE ROOM TO BE PROTECTED.
2. THE SPRINKLER SHALL BE INSTALLED IN THE CEILING OF THE ROOM TO BE PROTECTED.
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20. THE SPRINKLER SHALL BE INSTALLED IN THE CEILING OF THE ROOM TO BE PROTECTED.



STANDARD INSTALLATION OF DOUBLE CHECK DETECTOR ASSEMBLY

WDCDA-1

NOTES:

1. THE DETECTOR SHALL BE INSTALLED IN THE PIPELINE TO BE PROTECTED.
2. THE DETECTOR SHALL BE INSTALLED IN THE PIPELINE TO BE PROTECTED.
3. THE DETECTOR SHALL BE INSTALLED IN THE PIPELINE TO BE PROTECTED.
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20. THE DETECTOR SHALL BE INSTALLED IN THE PIPELINE TO BE PROTECTED.

FOR RECORD ONLY

APPROVED: [Signature]
DATE: 10/18/2024

THE ENGINEER HAS NOT BEEN ADVISED OF ANY
CHANGES TO THE WORK SHOWN ON THIS PLAN
SINCE THE DATE OF THE LAST MEETING.
THE ENGINEER SHALL NOT BE RESPONSIBLE FOR
THE CONSTRUCTION OF THE WORK SHOWN
ON THIS PLAN. THE ENGINEER SHALL NOT BE
RESPONSIBLE FOR THE MAINTENANCE OF THE
WORK SHOWN ON THIS PLAN. THE ENGINEER
SHALL NOT BE RESPONSIBLE FOR THE REPAIR
OF THE WORK SHOWN ON THIS PLAN. THE
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REPLACEMENT OF THE WORK SHOWN ON THIS
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NOT BE RESPONSIBLE FOR THE RELOCATION OF
THE WORK SHOWN ON THIS PLAN. THE
ENGINEER SHALL NOT BE RESPONSIBLE FOR THE
RENOVATION OF THE WORK SHOWN ON THIS
PLAN. THE ENGINEER SHALL NOT BE
RESPONSIBLE FOR THE RECONSTRUCTION OF
THE WORK SHOWN ON THIS PLAN.

| REV. | DESCRIPTION | DATE | BY | APPROVED BY |
|------|--------------|------------|-------------|-------------|
| 1 | CONSTRUCTION | 10/18/2024 | [Signature] | [Signature] |
| 2 | [Blank] | [Blank] | [Blank] | [Blank] |

Ravnik & Associates, Inc.
CIVIL ENGINEERING AND SURVEYING
1001 LINDABROOK LANE, SUITE 201
RICHMOND, VA 23221
TEL: (804) 281-1331
WWW.RAVNIK.COM

**6" DCD A ZURN MODEL 350DA
SERVING ONLY BUILDING SPRINKLERS**
1/4" SCALE

DETAILS

SHEET DEPARTMENT: [Blank]
DATE: 10/18/2024

PLAN STATUS: RECORD DRAWINGS

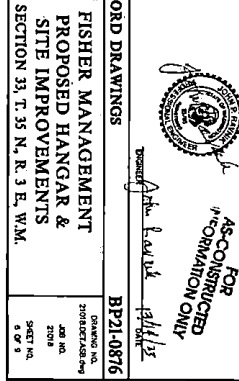
SCALE: AS SHOWN
DRAWN BY: J. M. GOSCH
CHECKED BY: J. RAVNIK
DATE: 10/18/2024

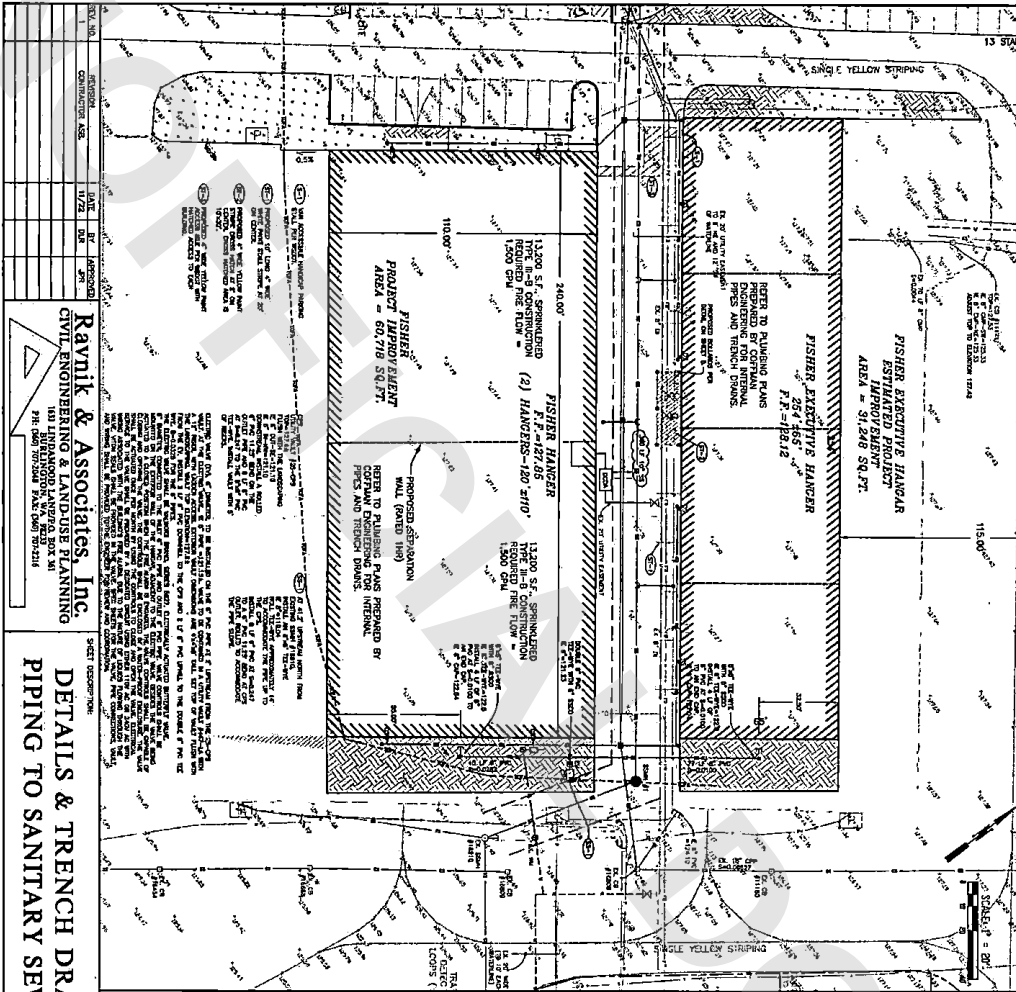
**FISHER MANAGEMENT
PROPOSED HANGAR &
SITE IMPROVEMENTS**
SECTION 33, T. 35 N., R. 3 E., W.M.

DRIVING INSTRUCTIONS:
JOB NO. [Blank]
DATE: [Blank]
SHEET NO. 9 OF 9

FOR CONSTRUCTION
RECORD ONLY

APPROVED: [Signature]
DATE: 10/18/2024





Ravnik & Associates, Inc.
CIVIL ENGINEERING & LANDSCAPE PLANNING
1601 INDEPENDENCE AVENUE, BOX 301
PHOENIX, ARIZONA 85018-0301
TEL: 602.955.1234 FAX: 602.955.1235

DETAILS & TRENCH DRAIN PIPING TO SANITARY SEWER

PLAN STATUS: RECORD DRAWINGS

SCALE AS SHOWN
DRAWN BY: A. BARNY
CHECKED BY: A. BARNY
DATE: 03/20/2023

FISHER MANAGEMENT PROPOSED HANGAR & SITE IMPROVEMENTS
SECTION 31, E. 35, N., R. 3, E. W.M.

DRAWING NO. 20180242000
JOB NO. 2100
SHEET NO. 7 OF 9

DATE: 10/18/2024

FOR AS-CONSULTED INFORMATION ONLY

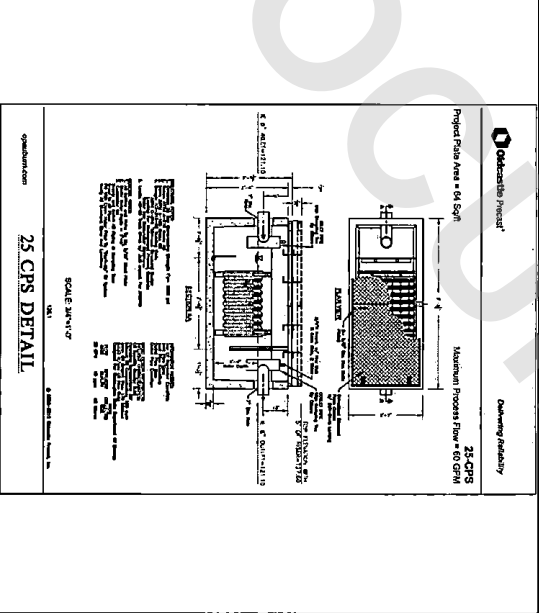
John Ravnik
PROJECT MANAGER

25 CPS DETAIL

25 CPS
Maximum Process Flow = 60 GPM
Project Piping Area = 64 SqFt

25 CPS DETAIL
SCALE: 3/4" = 1'-0"

SECTION 31, E. 35, N., R. 3, E. W.M.



25 CPS DETAIL

SCALE: 3/4" = 1'-0"

SECTION 31, E. 35, N., R. 3, E. W.M.

| <p>GENERAL REQUIREMENTS</p> <p>1. The contractor shall provide a minimum of 1000 cubic yards of good quality fill material for the embankment on the existing ground surface. The fill material shall be placed in 12" lifts and compacted to a minimum of 95% relative compaction. The contractor shall provide a minimum of 500 cubic yards of good quality fill material for the embankment on the existing ground surface. The fill material shall be placed in 12" lifts and compacted to a minimum of 95% relative compaction. The contractor shall provide a minimum of 500 cubic yards of good quality fill material for the embankment on the existing ground surface. The fill material shall be placed in 12" lifts and compacted to a minimum of 95% relative compaction.</p> | <table border="1"><thead><tr><th>NO.</th><th>DATE</th><th>REVISION</th></tr></thead><tbody><tr><td>1</td><td>11/15/23</td><td>ISSUE FOR CONSTRUCTION</td></tr></tbody></table> | | NO. | DATE | REVISION | 1 | 11/15/23 | ISSUE FOR CONSTRUCTION | | | | | | |
|--|---|--|-----------------------------------|------|-----------------|--------------------|-----------------------|--|------------------------|--|----------------------|------------|--|--|
| NO. | DATE | REVISION | | | | | | | | | | | | |
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| <p>GENERAL REQUIREMENTS</p> <p>2. The contractor shall provide a minimum of 1000 cubic yards of good quality fill material for the embankment on the existing ground surface. The fill material shall be placed in 12" lifts and compacted to a minimum of 95% relative compaction. The contractor shall provide a minimum of 500 cubic yards of good quality fill material for the embankment on the existing ground surface. The fill material shall be placed in 12" lifts and compacted to a minimum of 95% relative compaction. The contractor shall provide a minimum of 500 cubic yards of good quality fill material for the embankment on the existing ground surface. The fill material shall be placed in 12" lifts and compacted to a minimum of 95% relative compaction.</p> | <table border="1"><tr><td colspan="3"></td></tr><tr><td colspan="3">SHEET DESCRIPTION:</td></tr><tr><td colspan="3" rowspan="2">SPECIFICATIONS</td></tr><tr><td colspan="3">BPP21-0876</td></tr></table> | | | | | SHEET DESCRIPTION: | | | SPECIFICATIONS | | | BPP21-0876 | | |
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| SHEET DESCRIPTION: | | | | | | | | | | | | | | |
| SPECIFICATIONS | | | | | | | | | | | | | | |
| | | | BPP21-0876 | | | | | | | | | | | |
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| PLAN STATUS | | RECORD DRAWINGS | | | | | | | | | | | | |
| SCALE AS SHOWN | PROGRAM BY: J. ROBERT | <p>FISHER MANAGEMENT PROPOSED HANGAR & SITE IMPROVEMENTS</p> <p>SECTION 31, T. 35 N., R. 3 E. WM.</p> | | | | | | | | | | | | |
| CREATED BY: J. BARNETT | | | | | | | | | | | | | | |
| DRAWN BY: J. BARNETT | | | | | | | | | | | | | | |
| <p>GENERAL REQUIREMENTS</p> <p>4. The contractor shall provide a minimum of 1000 cubic yards of good quality fill material for the embankment on the existing ground surface. The fill material shall be placed in 12" lifts and compacted to a minimum of 95% relative compaction. The contractor shall provide a minimum of 500 cubic yards of good quality fill material for the embankment on the existing ground surface. The fill material shall be placed in 12" lifts and compacted to a minimum of 95% relative compaction. The contractor shall provide a minimum of 500 cubic yards of good quality fill material for the embankment on the existing ground surface. The fill material shall be placed in 12" lifts and compacted to a minimum of 95% relative compaction.</p> | <table border="1"><thead><tr><th colspan="2">FOR AS-COMPLETED INFORMATION ONLY</th></tr></thead><tbody><tr><td>DATE: 12/17/21</td><td></td></tr><tr><td>BY: [Signature]</td><td></td></tr></tbody></table> | | FOR AS-COMPLETED INFORMATION ONLY | | DATE: 12/17/21 | | BY: [Signature] | | | | | | | |
| FOR AS-COMPLETED INFORMATION ONLY | | | | | | | | | | | | | | |
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Ravnik & Associates, Inc.
CIVIL ENGINEERING & LAND-USE PLANNING
1401 HANCOCK PARKWAY, SUITE 301
PHILADELPHIA, PA 19104
TEL: 215-381-1100 FAX: 215-381-1101

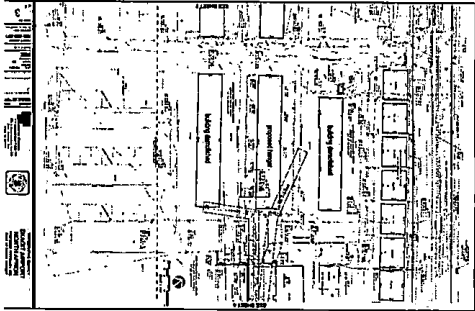
SHEET DESCRIPTION:
SPECIFICATIONS

PLAN STATUS: RECORD DRAWINGS

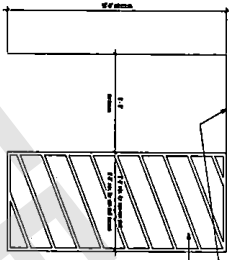
SHEET TITLE:
**FISHER MANAGEMENT
PROPOSED HANGAR &
SITE IMPROVEMENTS**
SECTION 33, T. 35 N., R. 3 E., W.M.

DATE: 03/15/2023
DRAWN BY: A. BAWER
CHECKED BY: A. BAWER
SCALE: AS SHOWN
SHEET NO. 8 OF 9

FOR AS-CONSTRUCTED INFORMATION ONLY
DATE: 10/18/2024
BY: John Ravnik

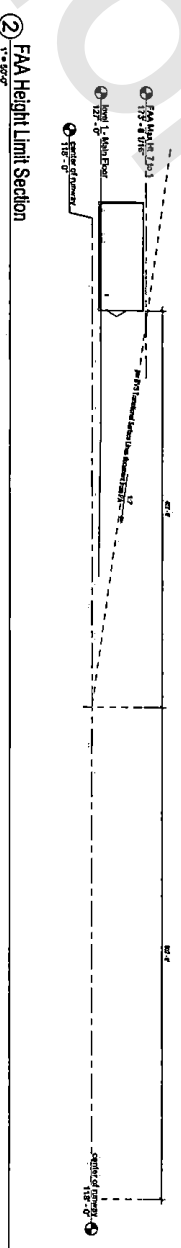


4 Existing Conditions Plan
1/4\"/>



3 Barrier Free Parking Stall
1/4\"/>

DO NOT DIMENSIONAL STOPS OF ACCESS CORRIDORS FROM DRIVE-UP PARKING SURFACES TO THE SIDEWALK OR DRIVEWAY. PROVIDE SLOPED SIDEWALK TO MATCH DRIVEWAY SLOPE. SEE PLANS FOR ACCESS TO DRIVEWAY SLOPE. DRIVEWAY SLOPE SHALL BE 1/4\"/>



2 FAA Height Limit Section
1/4\"/>



1004 4th Street
Westport, Washington 98593
UNDERWOOD ARCHITECTS, INC.
Architects

- Site Plan Notes:**
1. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE IN FEET AND INCHES TO NEAREST 1/8\"/>
 2. CONSULTOR TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS TO BE SHOWN ON THESE PLANS. ALL DIMENSIONS SHALL BE MEASURED FROM THE EXISTING GRADE UNLESS OTHERWISE NOTED.
 3. CONSULTOR TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS TO BE SHOWN ON THESE PLANS. ALL DIMENSIONS SHALL BE MEASURED FROM THE EXISTING GRADE UNLESS OTHERWISE NOTED.
 4. SET CURB DRAWINGS FOR GENERAL DRAINAGE AND UTILITY PLANS.
 5. PROVIDE AND DETAIL CONCRETE AND FINISHES AS NECESSARY.
 6. STREVE SHALL BE SHOWN TO MATCH THE EXISTING GRADE UNLESS OTHERWISE NOTED.
 7. LANDSCAPING TO BE USUAL TO MATCH THE EXISTING GRADE UNLESS OTHERWISE NOTED.



PERMIT SET REV

Project Name:
Fisher Hangars

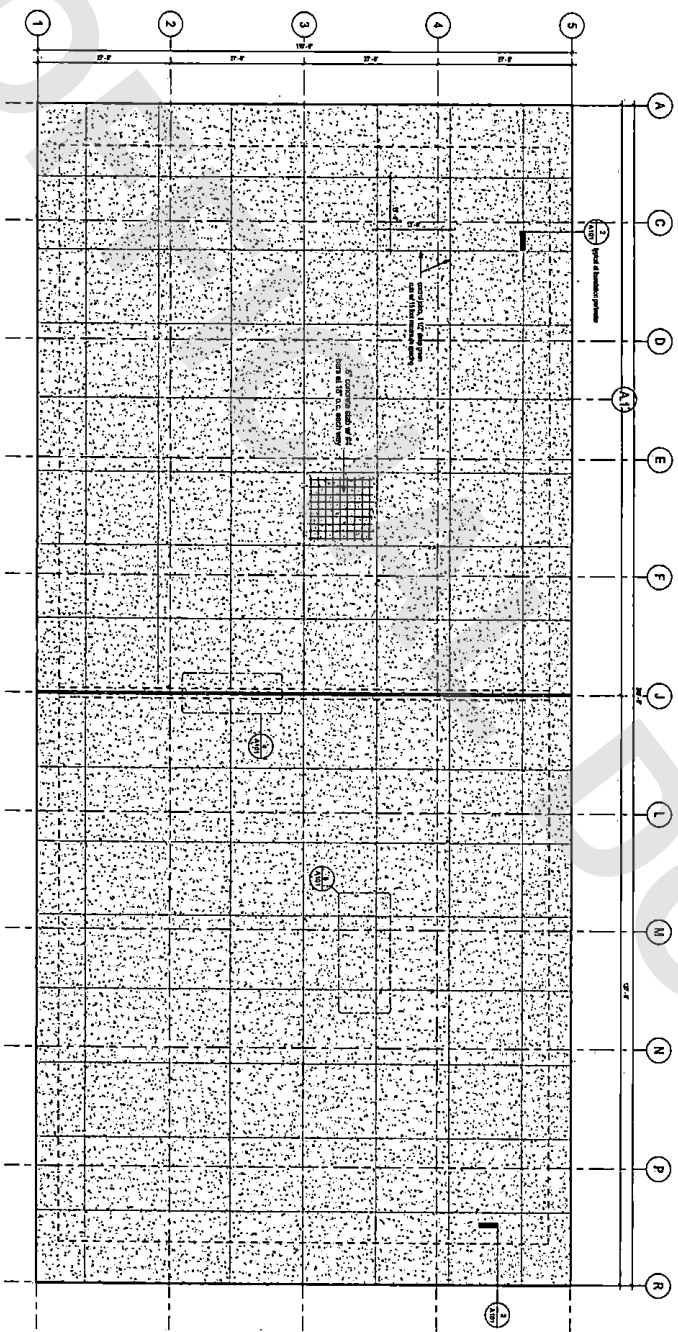
| Date | By | Rev |
|------------|----------------------|-----|
| 2024-10-18 | Richard S. Underwood | 1 |
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ARCHITECTURAL SITE PLAN

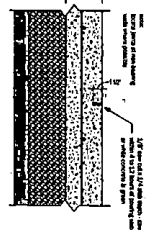
A100
NOVEMBER 13, 2024

C:\Users\larsen\Documents\Fisher\Fisher-Corpus_CDD\FM\041212\FW.dwg

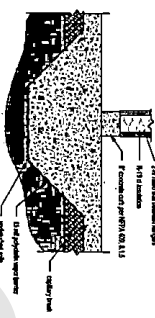
Overall Floor Plan
 1/8" = 1'-0"



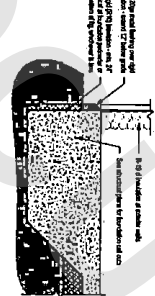
5 Control Joint Detail
 1/2" = 1'-0"



4 Foundation Detail at 2-hour wall
 3/8" = 1'-0"



2 Perimeter Insulation Detail
 3/8" = 1'-0"



UNDERWOOD
 FOUNDATION
 1008 4th Street
 Houston, Texas 77002

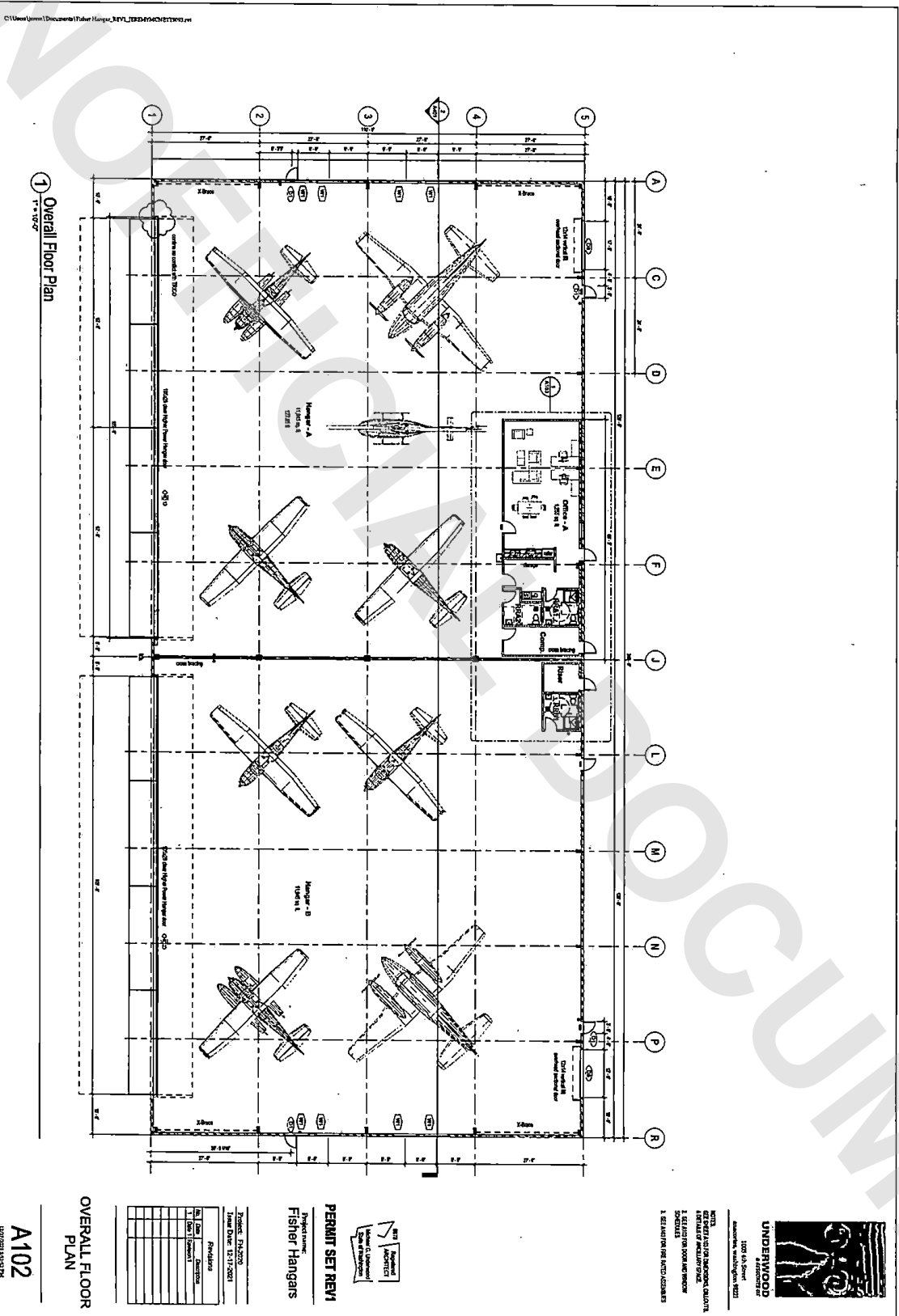
1. COORDINATE WITH ARCHITECTURAL AND ELECTRICAL DRAWINGS FOR FOUNDATION LAYOUT AND ELEVATIONS.
 2. FASTENERS: WELLS, ELEMENTS AND CONNECTIONS, WELLS, METAL, WHEN IN CONTACT WITH MATERIALS, SHALL BE TREATED.
 3. SEPARATE SHEET AIRBORNE CONTAMINANT (SAC) MATERIALS, WELLS, AND OTHERS.

PERMIT SET REV
 Project Name:
 Fisher Hangars

10/18/2024
 09:20 AM

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
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FOUNDATION PLAN & DETAILS
 A101
 10/18/2024



1 Overall Floor Plan
 1" = 10'-0"

OVERALL FLOOR PLAN

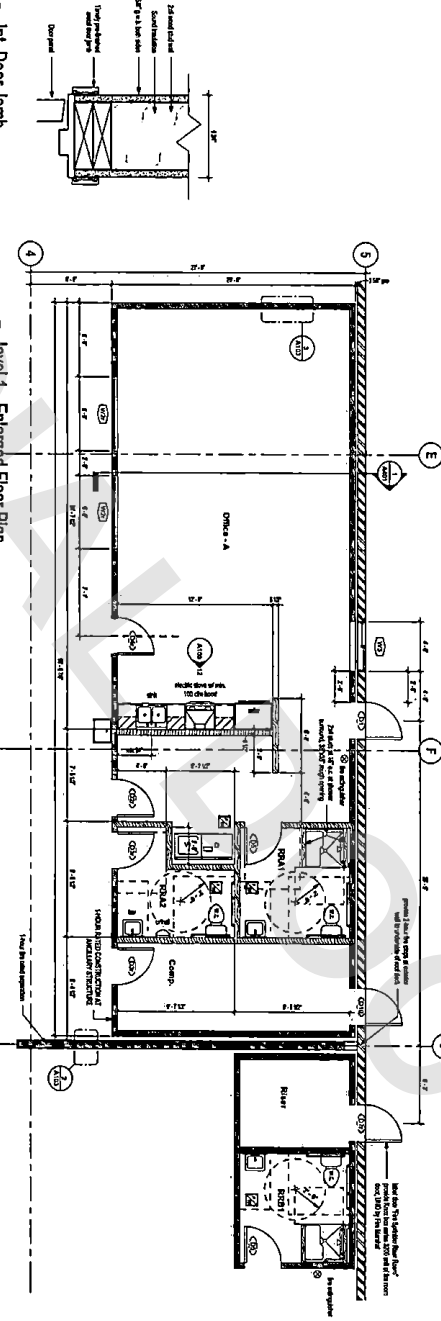
A102
 10/18/2024 10:18:25 AM

| No. | Date | Revisions |
|-----|------------|-----------|
| 1 | 10/17/2024 | Final |
| | | |
| | | |
| | | |
| | | |

PERMIT SET REVI
 Project Name: Fisher Hangars



1000 14th Street
 Vancouver, Washington 98660
 360.583.8800
 www.underwoodandassociates.com
 1. SEE ALL THE NOTES/CONDITIONS



OPTIONAL WALLBOARD, STEEL STUDS

1 HOUR FIRE
50 TO 64 FT TO CEILING

Notes:
1. Steel studs shall be spaced at 16" O.C. with 1/2" gypsum board attached to both sides.
2. Gypsum board shall be attached to both sides of steel studs with 1/2" gypsum board fasteners in stud space.
3. All joints shall be reinforced with 1/2" gypsum board fasteners in stud space.

OPTIONAL WALLBOARD, WOOD STUDS

1 HOUR FIRE
33 TO 39 FT TO CEILING

Notes:
1. Wood studs shall be spaced at 16" O.C. with 1/2" gypsum board attached to both sides.
2. Gypsum board shall be attached to both sides of wood studs with 1/2" gypsum board fasteners in stud space.
3. All joints shall be reinforced with 1/2" gypsum board fasteners in stud space.

Level 1 - Enlarged Floor Plan

Window Schedule

| Type | Width | Height | Count | Location | Comments |
|--------|-------|--------|-------|------------|---------------------|
| WIN 1 | 6'-0" | 6'-0" | 2 | Office + A | 2x8 aluminum window |
| WIN 2 | 6'-0" | 6'-0" | 2 | Office + A | 2x8 aluminum window |
| WIN 3 | 6'-0" | 6'-0" | 2 | Office + A | 2x8 aluminum window |
| WIN 4 | 6'-0" | 6'-0" | 2 | Office + A | 2x8 aluminum window |
| WIN 5 | 6'-0" | 6'-0" | 2 | Office + A | 2x8 aluminum window |
| WIN 6 | 6'-0" | 6'-0" | 2 | Office + A | 2x8 aluminum window |
| WIN 7 | 6'-0" | 6'-0" | 2 | Office + A | 2x8 aluminum window |
| WIN 8 | 6'-0" | 6'-0" | 2 | Office + A | 2x8 aluminum window |
| WIN 9 | 6'-0" | 6'-0" | 2 | Office + A | 2x8 aluminum window |
| WIN 10 | 6'-0" | 6'-0" | 2 | Office + A | 2x8 aluminum window |
| WIN 11 | 6'-0" | 6'-0" | 2 | Office + A | 2x8 aluminum window |
| WIN 12 | 6'-0" | 6'-0" | 2 | Office + A | 2x8 aluminum window |

Door Schedule

| Type | Width | Height | Count | Location | Comments |
|---------|-------|--------|-------|------------|----------------------|
| DOOR 1 | 3'-0" | 7'-0" | 1 | Office + A | 1/2" fire rated door |
| DOOR 2 | 3'-0" | 7'-0" | 1 | Office + A | 1/2" fire rated door |
| DOOR 3 | 3'-0" | 7'-0" | 1 | Office + A | 1/2" fire rated door |
| DOOR 4 | 3'-0" | 7'-0" | 1 | Office + A | 1/2" fire rated door |
| DOOR 5 | 3'-0" | 7'-0" | 1 | Office + A | 1/2" fire rated door |
| DOOR 6 | 3'-0" | 7'-0" | 1 | Office + A | 1/2" fire rated door |
| DOOR 7 | 3'-0" | 7'-0" | 1 | Office + A | 1/2" fire rated door |
| DOOR 8 | 3'-0" | 7'-0" | 1 | Office + A | 1/2" fire rated door |
| DOOR 9 | 3'-0" | 7'-0" | 1 | Office + A | 1/2" fire rated door |
| DOOR 10 | 3'-0" | 7'-0" | 1 | Office + A | 1/2" fire rated door |
| DOOR 11 | 3'-0" | 7'-0" | 1 | Office + A | 1/2" fire rated door |
| DOOR 12 | 3'-0" | 7'-0" | 1 | Office + A | 1/2" fire rated door |

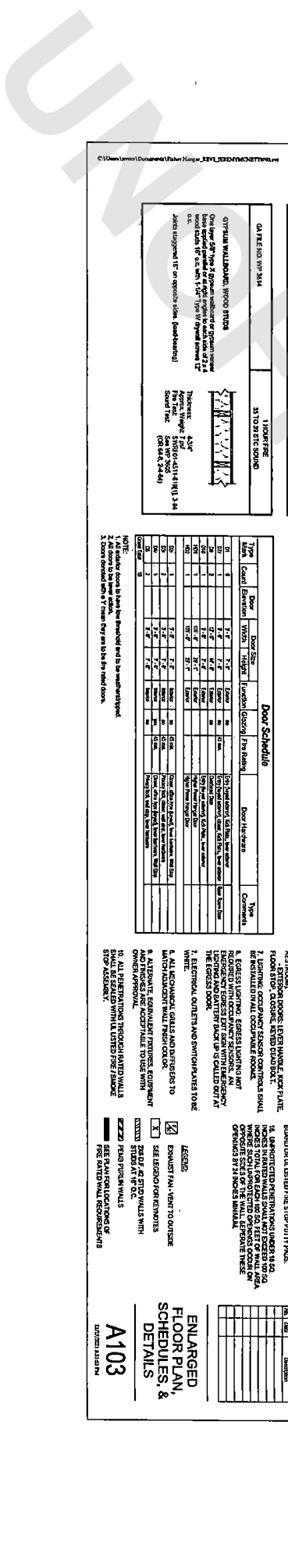
- Floor Plan Notes:**
1. ALL DIMENSIONS ARE TO FACE OF STUD WALLS.
 2. ALL DIMENSIONS ARE TO FACE OF STUD WALLS.
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 10. ALL DIMENSIONS ARE TO FACE OF STUD WALLS.
 11. ALL DIMENSIONS ARE TO FACE OF STUD WALLS.
 12. ALL DIMENSIONS ARE TO FACE OF STUD WALLS.



1025 4th Street
Arlington, VA 22202

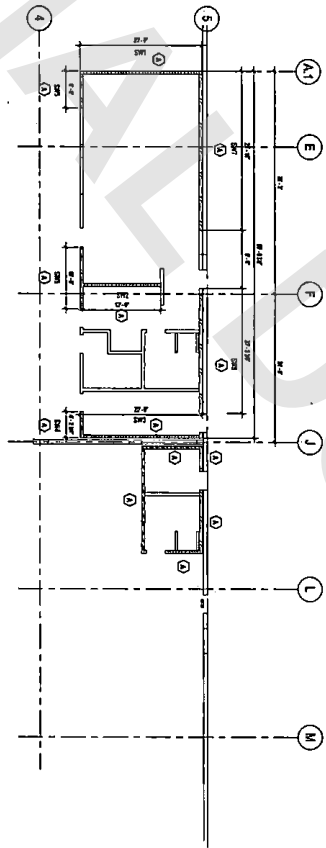
PERMIT SET REV
Fisher Hangars

ENLARGED FLOOR PLAN, SCHEDULES, & DETAILS
A103



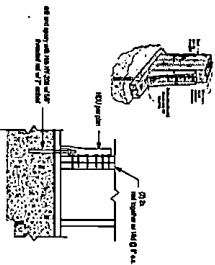
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① Level 1 - Lateral Plan
 1/8" = 1'-0"

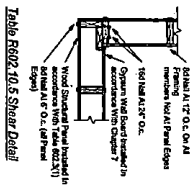


| Struct. Wall Schedule | | | | | |
|-----------------------|-------------|-----------------|-----------------|-----------|-------------|
| WALL | WALL NUMBER | EXTERIOR FINISH | INTERIOR FINISH | THICKNESS | UNIT WEIGHT |
| 1 | 101 | EIFS | EIFS | 12" | 125 |

③ Typical HD Detail
 1/4" = 1'-0"



② Outside Corner Detail
 1/4" = 1'-0"



PERMIT SET REV
 Project Name:
 Fisher Hangars

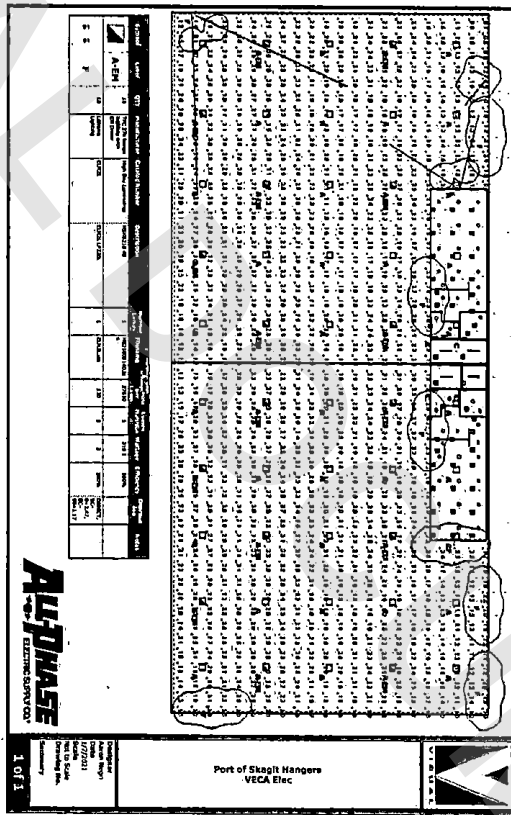
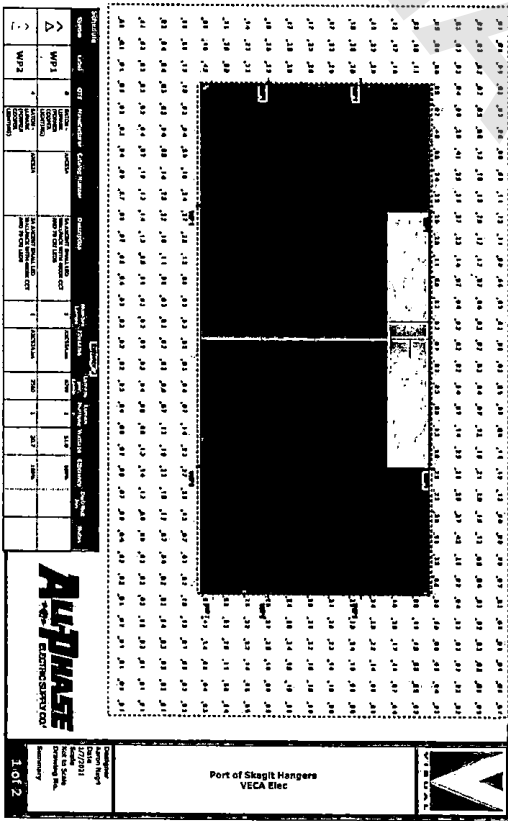
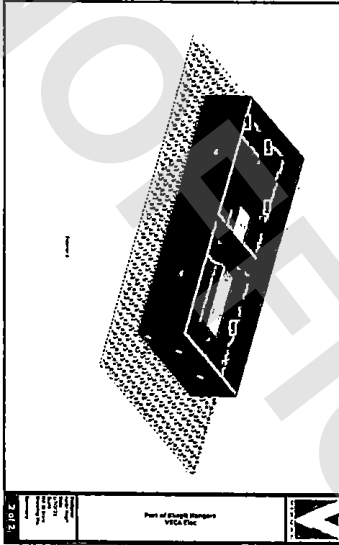
| NO. | DATE | REVISIONS |
|-----|------|-----------|
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INTERIOR
 LATERAL PLAN &
 DETAILS

A105
 10/20/2024 14:51 PM

UNDERWOOD
 ENGINEERING
 1000 E. State
 Ann Arbor, Michigan 48106

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| System | Code | Quantity | Unit | Material | Notes |
|--------|------|----------|------|----------|-------|
| W101 | 1 | 1 | PC | PORT | |
| W102 | 1 | 1 | PC | PORT | |

| System | Code | Quantity | Unit | Material | Notes |
|--------|------|----------|------|----------|-------|
| W101 | 1 | 1 | PC | PORT | |
| W102 | 1 | 1 | PC | PORT | |

ALL-PHASE
 LIGHTING SYSTEMS

ALL-PHASE
 LIGHTING SYSTEMS

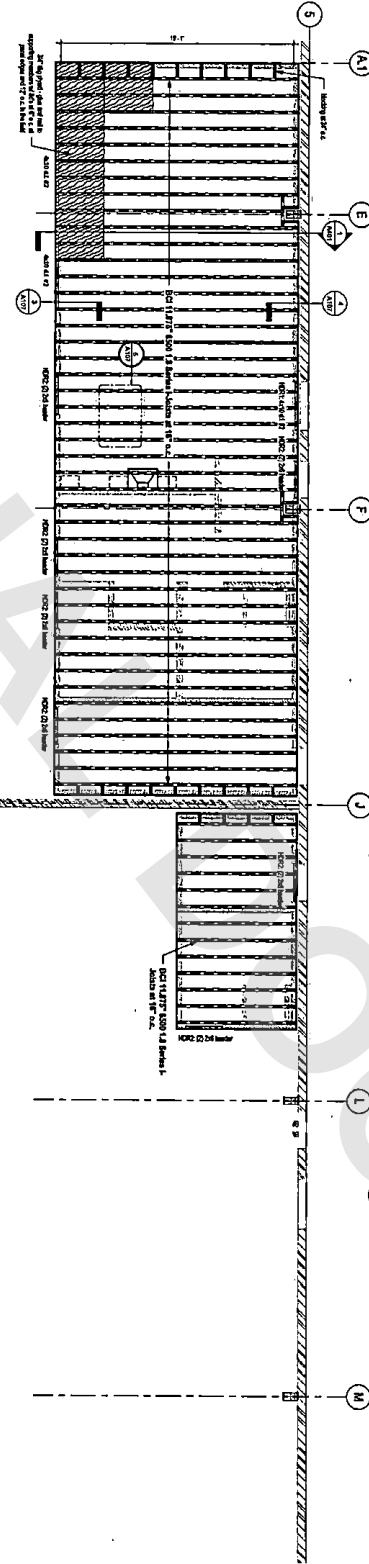
PERMIT SET REV1
 Project Name: FISHER HANGERS
 Date: 10/18/2024
 Author: [Name]



A106

LIGHTING PLANS

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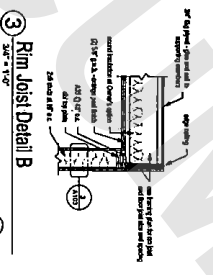
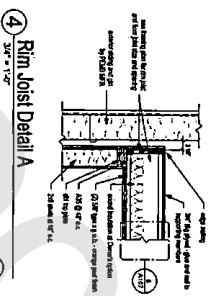


CALCULATED 1 HOUR FIRE-RISTANCE PROVISION FOR WOOD JOISTS, CEILING WALLBOARD

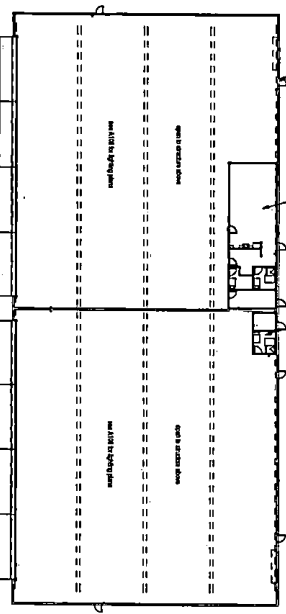
BASE Layer SDR Type II gypsum wallboard applied to the face of joists. This assembly is based on the design of a typical wall of a 1-hour fire-resistance-rated wall system. The wallboard is attached to the joists with 1/2" x 3/8" screws spaced at 16" o.c. at joints and throughout. The wallboard is attached to the joists with 1/2" x 3/8" screws spaced at 16" o.c. at joints and throughout. The wallboard is attached to the joists with 1/2" x 3/8" screws spaced at 16" o.c. at joints and throughout.

1 HOUR FIRE

Approved Under
ICC ESR-2868
ICC-ES E-1068



UNDERWOOD
Aristocrat 20
1202-691-5000
www.underwood.com



PERMIT SET NEW!

Project Name
Fisher Hangars

DATE: 28/09/2024
TIME: 10:13:25 AM

Author: [Name]
Reviewer: [Name]

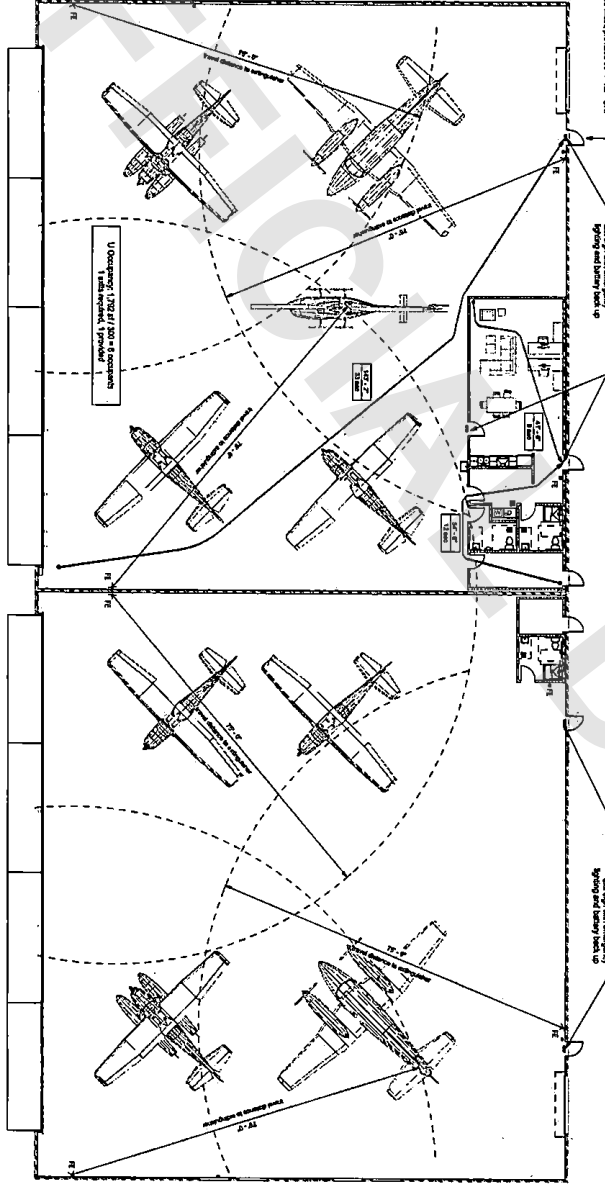
NO. [] NAME: [] DESCRIPTION: []

REFLECTED
CEILING PLAN,
CEILING FRAMING
PLAN, & DETAILS

A107

10/18/2024 9:55 AM

Overall Floor Plan



Path of Travel Schedule

| Level | Length | Speed | Time |
|----------------------|---------------|---------|------|
| Level 1 - Main Floor | 154'-8.5700" | 1.0 MPH | 15.4 |
| Level 1 - Main Floor | 154'-8.5700" | 1.0 MPH | 15.4 |
| Level 1 - Main Floor | 154'-2.11250" | 1.0 MPH | 2.1 |
| Overall Time | | | 32.9 |

- PERMITS
1. PERMIT TO CONSTRUCT
 2. PERMIT TO OCCUPY
 3. PERMIT TO OPERATE
 4. PERMIT TO INSTALL
 5. PERMIT TO REMOVE
 6. PERMIT TO ALTER
 7. PERMIT TO REPAIR
 8. PERMIT TO MAINTAIN
 9. PERMIT TO DEMOLISH

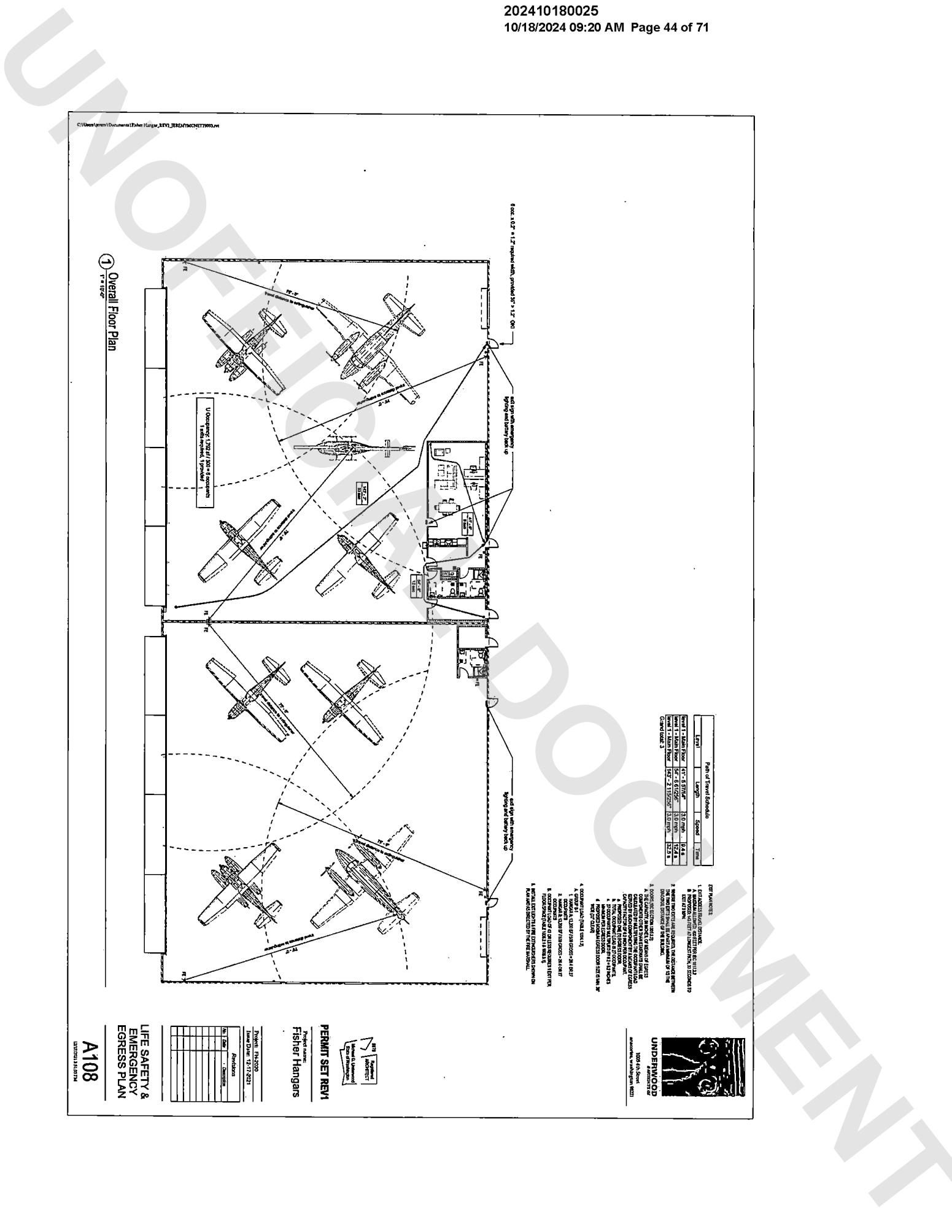
PERMIT SET REV1
Fisher Hangars

| No. | Date | Revisions |
|-----|------|-----------|
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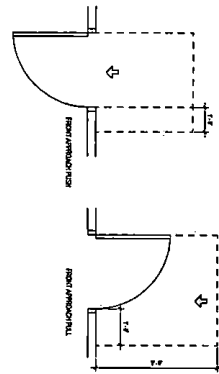
LIFE SAFETY &
EMERGENCY
EGRESS PLAN

A108

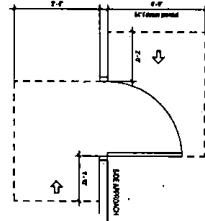
10/18/2024



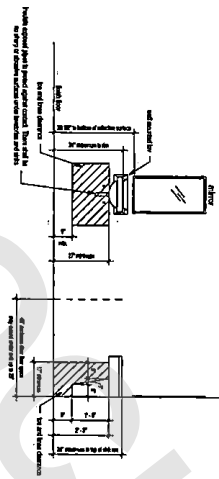
C:\Users\lames\Documents\Fisher_Hanger_REVISED\FACILITY2024.rvt



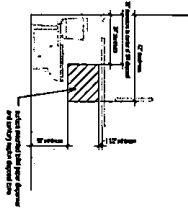
4 Typical Door Clearance
1/2" = 1'-0"



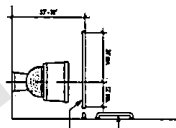
3 ADA Lavatory Clearances
1/2" = 1'-0"



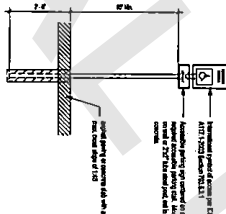
2 ADA Fire Extinguisher
1/2" = 1'-0"



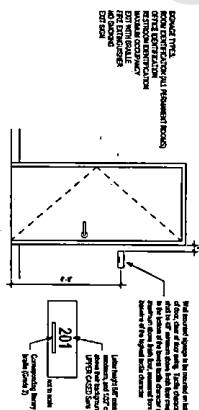
8 Toilet Side Elev - Fixtures
1/2" = 1'-0"



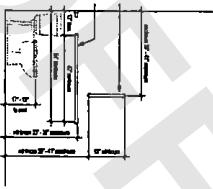
7 Toilet Rear Elev - Grab Bars
1/2" = 1'-0"



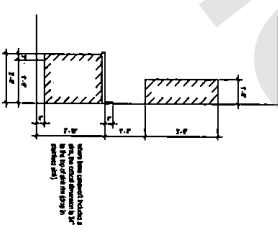
6 ADA Parking Sign
1/2" = 1'-0"



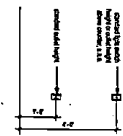
5 Typical Room Signage Mounting
1/2" = 1'-0"



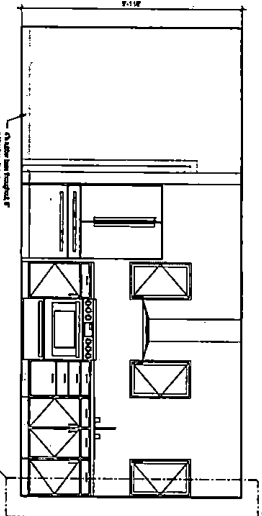
9 Toilet Side Elev - Grab Bars
1/2" = 1'-0"



11 Typ. Casework Section
1/2" = 1'-0"



1 ADA Electrical
1/2" = 1'-0"



12 Interior Elevation at Kitchenette
1/2" = 1'-0"



Accessibility Notes:

1. Dimensions are from finished face of wall or partition.
2. All clearances and dimensions are to be provided "as measured" to top of wall.
3. Includes required space to provide maneuvering clearances.
4. Signage with braille and pictographs to be provided.
5. Sign height: Braille signs 58" A, 58" for additional braille and dimensions.
6. The height of all signs to be provided shall be 58" maximum.
7. Includes braille as required for all wall-mounted signs.



PERMIT SET REV I
Project Name:
Fisher Hangers

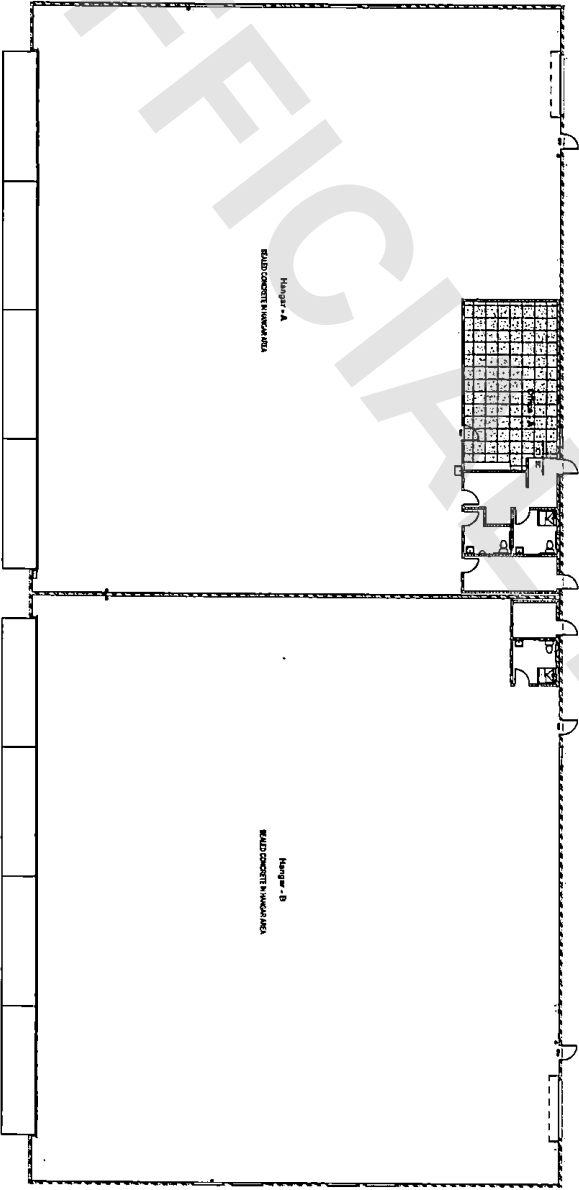
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|-----|----------|---------|
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| 3 | 09/20/23 | Initial |
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| 5 | 09/20/23 | Initial |
| 6 | 09/20/23 | Initial |
| 7 | 09/20/23 | Initial |
| 8 | 09/20/23 | Initial |
| 9 | 09/20/23 | Initial |
| 10 | 09/20/23 | Initial |
| 11 | 09/20/23 | Initial |
| 12 | 09/20/23 | Initial |
| 13 | 09/20/23 | Initial |
| 14 | 09/20/23 | Initial |
| 15 | 09/20/23 | Initial |
| 16 | 09/20/23 | Initial |
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| 27 | 09/20/23 | Initial |
| 28 | 09/20/23 | Initial |
| 29 | 09/20/23 | Initial |
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| 97 | 09/20/23 | Initial |
| 98 | 09/20/23 | Initial |
| 99 | 09/20/23 | Initial |
| 100 | 09/20/23 | Initial |

ADA DETAILS & INTERIOR ELEVATIONS

A109
12/11/2023 10:34:34 AM

C:\Users\jason\Documents\Fisher_Hangars_JEV_DRAWING\011724.rvt

① Overall Floor Plan
1" = 10'



Hangar - A
BLVD CONCRETE W/MESH REIN

Hangar - B
BLVD CONCRETE W/MESH REIN

- Floor Finish**
1. 2" thick sand and gravel to bedding. 1/2" thick sand to bedding. 1/2" thick sand to bedding. 1/2" thick sand to bedding.
 2. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum.
 3. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum.
 4. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum.

Floor Legend

| | |
|-------|--|
| 7" GF | FLOOR FINISH TRANSPARENT |
| GF | GF - CONCRETE FILL - 4" thick, 11' max |
| GF | GF - SLAB ON GROUND CONCRETE - 4" thick, 11' max |
| GF | GF - 4" thick concrete to 11' maximum |
| GF | GF - 4" thick concrete to 11' maximum |
| GF | GF - 4" thick concrete to 11' maximum |
| GF | GF - 4" thick concrete to 11' maximum |
| GF | GF - 4" thick concrete to 11' maximum |

- Floor Concrete**
1. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum.
2. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum.
3. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum.
4. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum.

- Floor and Slab**
1. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum.
2. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum.
3. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum.
4. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum. 4" thick concrete to 11' maximum.

PERMIT SET REV1
Project name: Fisher Hangars
Project address: Skagit Airport
Project number: 13-17-2023
Issue date: 12-17-2023

FLOOR FINISHES PLAN
A110
10/18/2024 9:20:25 AM



1000 6th Street
Knoxville, TN 37603
615-595-1111
info@underwoodassociates.com



UNDERWOOD
 ARCHITECTURE
 1000 6th Street
 Phoenix, AZ 85001

NOTE: See related building permit application for construction details, including materials, etc. The building envelope will need to exceed Windstorm Zone 2 (WZ2) requirements.



PERMIT SET REV1
 Project name:
 Fisher Hangars

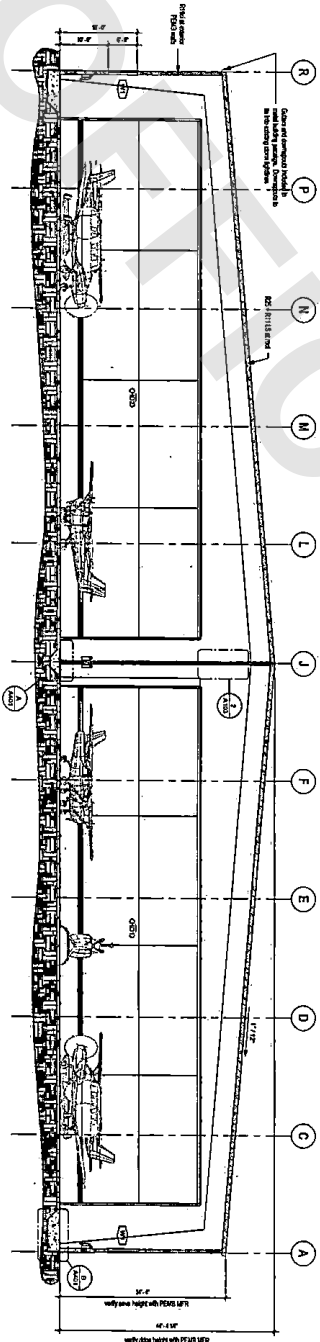
| NO. | DATE | REVISIONS |
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BUILDING ELEVATIONS

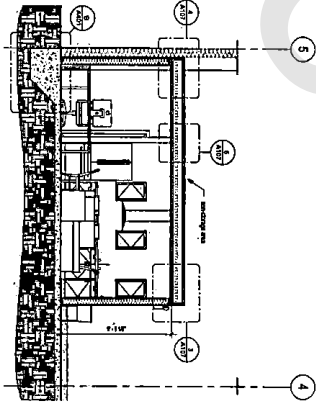
A201
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C:\Users\user\Documents\Fisher\Fisher_REV_1024\FINCHONV2024.rvt

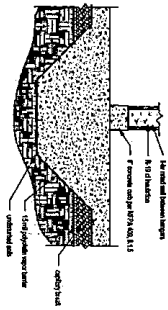
② Building Section.
 1" = 1'-0"



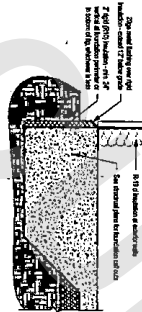
① Building Section.
 1/4" = 1'-0"



③ Foundation Detail at 1-hour wall.
 3/8" = 1'-0"



④ Perimeter Insulation Detail.
 3/8" = 1'-0"



NOTES:
 1. REFER TO ALL OTHER SHEETS FOR
 DIMENSIONS AND FINISHES.
 2. ALL DIMENSIONS ARE UNLESS OTHERWISE
 SPECIFIED.



PERMIT SET NEW!
 Project Name:
 Fisher Hangars

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BUILDING SECTIONS

A401
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GENERAL NOTES

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS TO CONDUCT THE PROJECT AND TO PROTECT THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS TO CONDUCT THE PROJECT AND TO PROTECT THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS TO CONDUCT THE PROJECT AND TO PROTECT THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING.

SPECIAL INSPECTIONS

| SPECIAL INSPECTION | SPECIAL INSPECTION SCHEDULE | | SPECIAL INSPECTION PERSONNEL | SPECIAL INSPECTION LOCATION | SPECIAL INSPECTION DATE |
|--------------------------------------|-----------------------------|-----------|------------------------------|-----------------------------|-------------------------|
| | CONTRACTOR | INSPECTOR | | | |
| FOUNDATION INSPECTION | | | | | |
| CONCRETE INSPECTION | | | | | |
| STEEL INSPECTION | | | | | |
| WELDING INSPECTION | | | | | |
| MECHANICAL INSPECTION | | | | | |
| ELECTRICAL INSPECTION | | | | | |
| PLUMBING INSPECTION | | | | | |
| HEATING INSPECTION | | | | | |
| AIR CONDITIONING INSPECTION | | | | | |
| ENVIRONMENTAL INSPECTION | | | | | |
| ASBESTOS INSPECTION | | | | | |
| LEAD INSPECTION | | | | | |
| MOISTURE INSPECTION | | | | | |
| TERMITES INSPECTION | | | | | |
| PAINT INSPECTION | | | | | |
| GLASS INSPECTION | | | | | |
| ROOF INSPECTION | | | | | |
| EXTERIOR FINISHES INSPECTION | | | | | |
| INTERIOR FINISHES INSPECTION | | | | | |
| MECHANICAL SYSTEMS INSPECTION | | | | | |
| ELECTRICAL SYSTEMS INSPECTION | | | | | |
| PLUMBING SYSTEMS INSPECTION | | | | | |
| HEATING SYSTEMS INSPECTION | | | | | |
| AIR CONDITIONING SYSTEMS INSPECTION | | | | | |
| ENVIRONMENTAL SYSTEMS INSPECTION | | | | | |
| ASBESTOS SYSTEMS INSPECTION | | | | | |
| LEAD SYSTEMS INSPECTION | | | | | |
| MOISTURE SYSTEMS INSPECTION | | | | | |
| TERMITES SYSTEMS INSPECTION | | | | | |
| PAINT SYSTEMS INSPECTION | | | | | |
| GLASS SYSTEMS INSPECTION | | | | | |
| ROOF SYSTEMS INSPECTION | | | | | |
| EXTERIOR FINISHES SYSTEMS INSPECTION | | | | | |
| INTERIOR FINISHES SYSTEMS INSPECTION | | | | | |

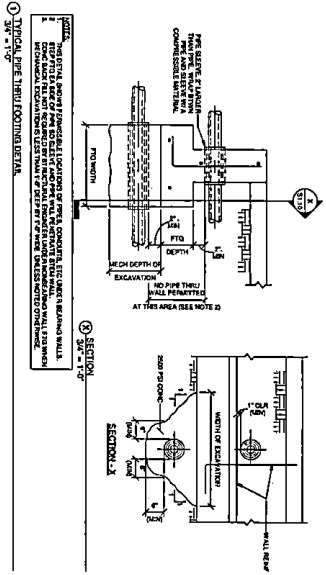


1000 S. West Ave.
Mesa, Arizona 85204

Project Status
Project Name:
Fisher Hangars

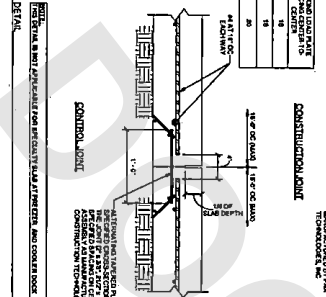
| NO. | DATE | REVISION |
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GENERAL NOTES
AND SPECIAL
INSPECTIONS
\$1.00
15132013447



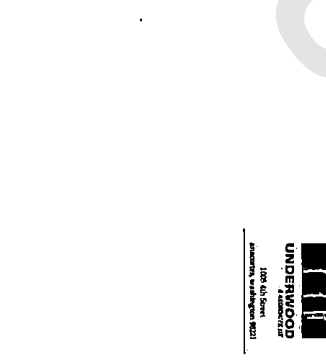
DETAIL: TYPICAL PIPE THRU FOOTING DETAIL
SCALE: 1/4" = 1'-0"

| ITEM | DESCRIPTION | QUANTITY | UNIT |
|------|---------------|----------|------|
| 1 | FOOTING | 1 | EA |
| 2 | PIPE | 1 | EA |
| 3 | WOODEN BEAM | 1 | EA |
| 4 | REINFORCEMENT | 4 | #4 |



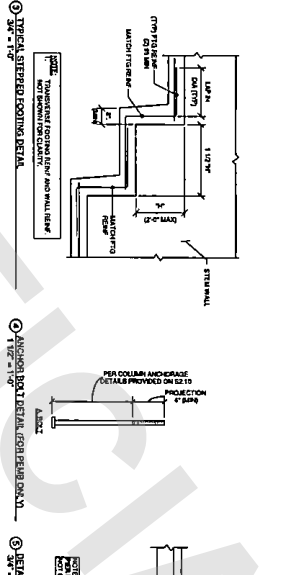
DETAIL: CONTROL CONSTRUCTION JOINT DETAIL
SCALE: 1/4" = 1'-0"

| ITEM | DESCRIPTION | QUANTITY | UNIT |
|------|---------------|----------|------|
| 1 | CONTROL JOINT | 1 | EA |
| 2 | REINFORCEMENT | 4 | #4 |



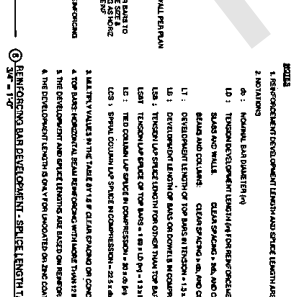
DETAIL: TYPICAL SLAB EDGE FOOTING DETAIL
SCALE: 1/4" = 1'-0"

| ITEM | DESCRIPTION | QUANTITY | UNIT |
|------|---------------|----------|------|
| 1 | FOOTING | 1 | EA |
| 2 | SLAB | 1 | EA |
| 3 | REINFORCEMENT | 4 | #4 |



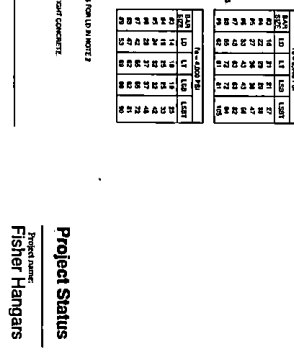
DETAIL: TYPICAL SLAB EDGE FOOTING DETAIL
SCALE: 1/4" = 1'-0"

| ITEM | DESCRIPTION | QUANTITY | UNIT |
|------|---------------|----------|------|
| 1 | FOOTING | 1 | EA |
| 2 | SLAB | 1 | EA |
| 3 | REINFORCEMENT | 4 | #4 |



DETAIL: CONTROL CONSTRUCTION JOINT DETAIL
SCALE: 1/4" = 1'-0"

| ITEM | DESCRIPTION | QUANTITY | UNIT |
|------|---------------|----------|------|
| 1 | CONTROL JOINT | 1 | EA |
| 2 | REINFORCEMENT | 4 | #4 |



DETAIL: TYPICAL SLAB EDGE FOOTING DETAIL
SCALE: 1/4" = 1'-0"

| ITEM | DESCRIPTION | QUANTITY | UNIT |
|------|---------------|----------|------|
| 1 | FOOTING | 1 | EA |
| 2 | SLAB | 1 | EA |
| 3 | REINFORCEMENT | 4 | #4 |



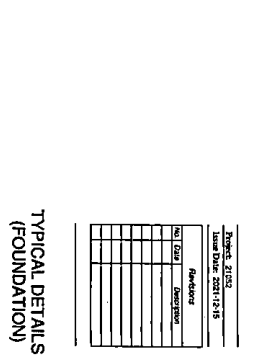
DETAIL: TYPICAL SLAB EDGE FOOTING DETAIL
SCALE: 1/4" = 1'-0"

| ITEM | DESCRIPTION | QUANTITY | UNIT |
|------|---------------|----------|------|
| 1 | FOOTING | 1 | EA |
| 2 | SLAB | 1 | EA |
| 3 | REINFORCEMENT | 4 | #4 |



DETAIL: CONTROL CONSTRUCTION JOINT DETAIL
SCALE: 1/4" = 1'-0"

| ITEM | DESCRIPTION | QUANTITY | UNIT |
|------|---------------|----------|------|
| 1 | CONTROL JOINT | 1 | EA |
| 2 | REINFORCEMENT | 4 | #4 |



DETAIL: TYPICAL SLAB EDGE FOOTING DETAIL
SCALE: 1/4" = 1'-0"

| ITEM | DESCRIPTION | QUANTITY | UNIT |
|------|---------------|----------|------|
| 1 | FOOTING | 1 | EA |
| 2 | SLAB | 1 | EA |
| 3 | REINFORCEMENT | 4 | #4 |

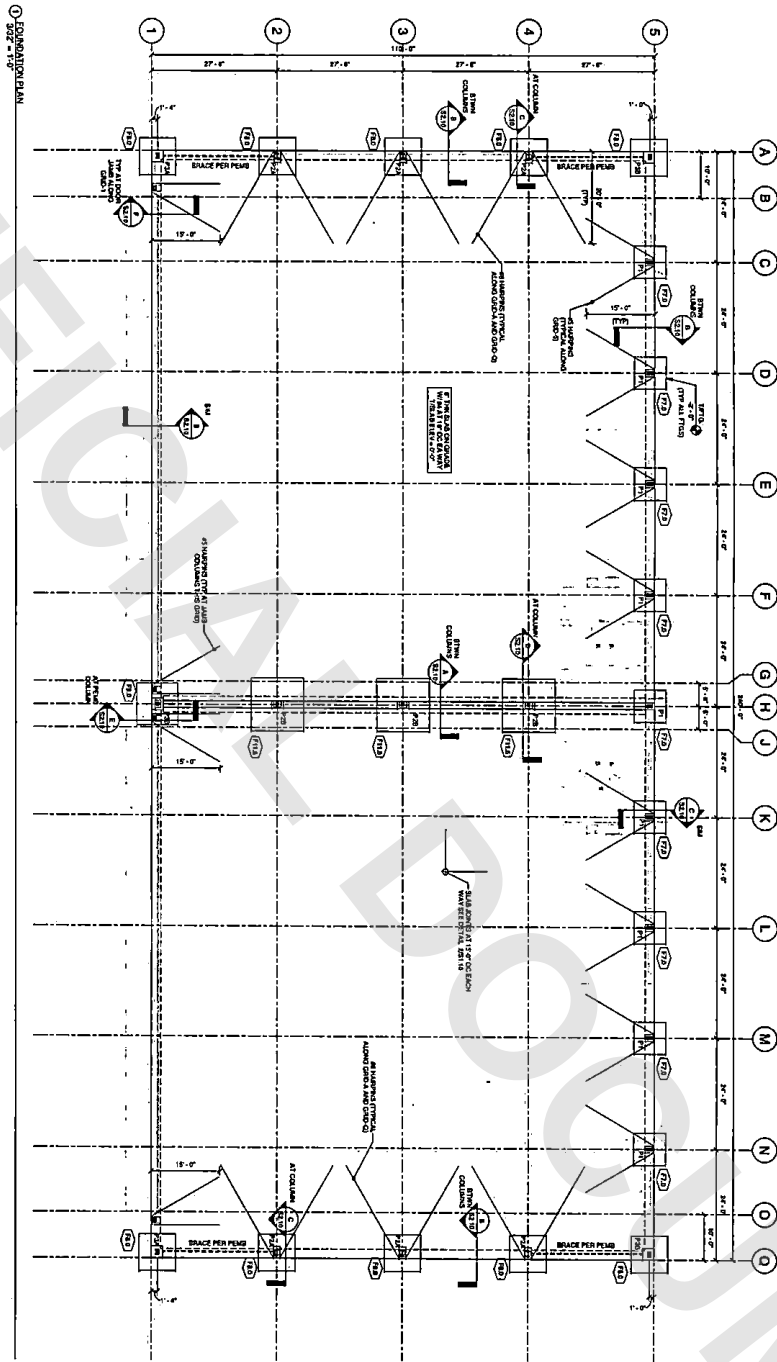
Project Status
Project Name: Fisher Hangars

Project 2102
Issue Date: 2023-12-15

| No. | Total | Completed |
|-----|-------|-----------|
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S1.10
FOUNDATION



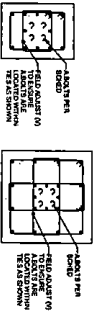


FOUNDATION SCHEDULE

| MARK | SIZE | REINFORCEMENT |
|------|-------------------------|-----------------|
| (72) | 4'-0" x 4'-0" x 1'-0" | 2#16 @ 12" O.C. |
| (73) | 4'-0" x 4'-0" x 2'-0" | 2#16 @ 12" O.C. |
| (74) | 11'-0" x 11'-0" x 2'-0" | 2#16 @ 12" O.C. |

CONCRETE PLATH AND ANCHORAGE SCHEDULE

| MARK | SIZE | REINFORCEMENT |
|------|-------------------------|-----------------|
| (72) | 4'-0" x 4'-0" x 1'-0" | 2#16 @ 12" O.C. |
| (73) | 4'-0" x 4'-0" x 2'-0" | 2#16 @ 12" O.C. |
| (74) | 11'-0" x 11'-0" x 2'-0" | 2#16 @ 12" O.C. |



- FOUNDATION NOTES AT PERM DRAWINGS**
1. FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL FOUNDATION CODE (IFC).
 2. FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL FOUNDATION CODE (IFC).
 3. FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL FOUNDATION CODE (IFC).
 4. FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL FOUNDATION CODE (IFC).
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 7. FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL FOUNDATION CODE (IFC).
 8. FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL FOUNDATION CODE (IFC).
 9. FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL FOUNDATION CODE (IFC).
 10. FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL FOUNDATION CODE (IFC).

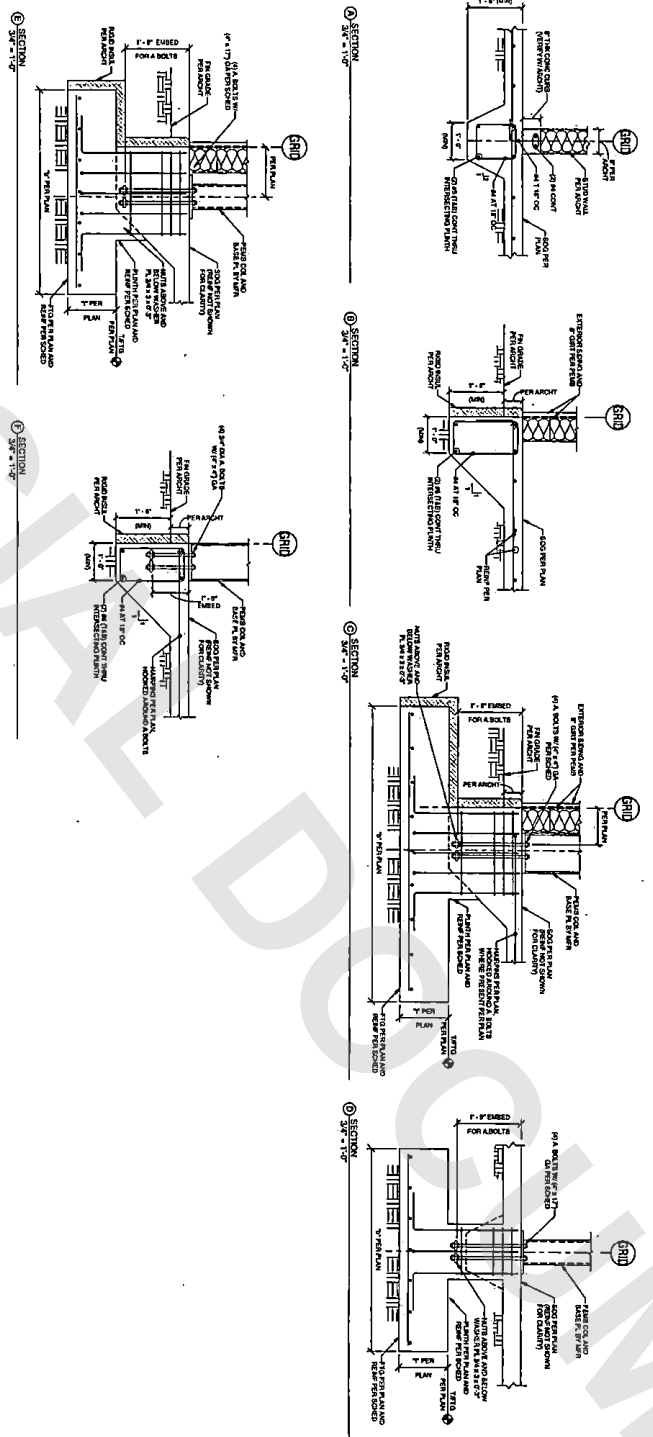
FOUNDATION PLAN

| NO. | REVISION |
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\$2.00
13/20/2014/04

Project Status
Fisher Hangers





1200 G Street
 Alexandria, VA 22304-4402

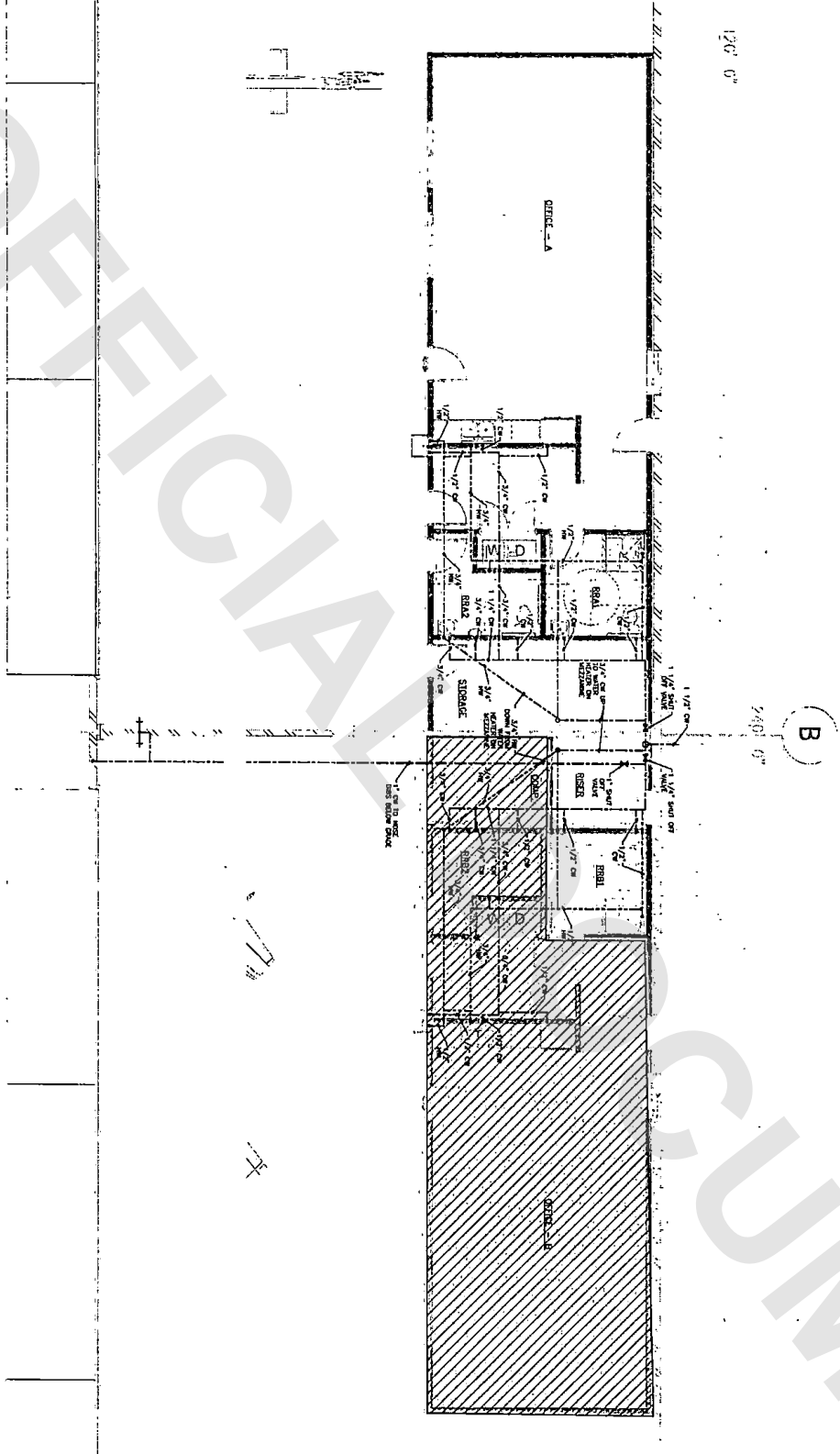
Project Status
 Project Name:
 Fisher Hangers

| NO. | DATE | DESCRIPTION |
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FOUNDATION SECTIONS AND DETAILS

S2.10
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PIPING PLAN



B

120' 0"

140' 0"

FISHER HANGER

PROJECT CONTACT:

REVISIONS:

PIPING PLAN

22 JANUARY 2021

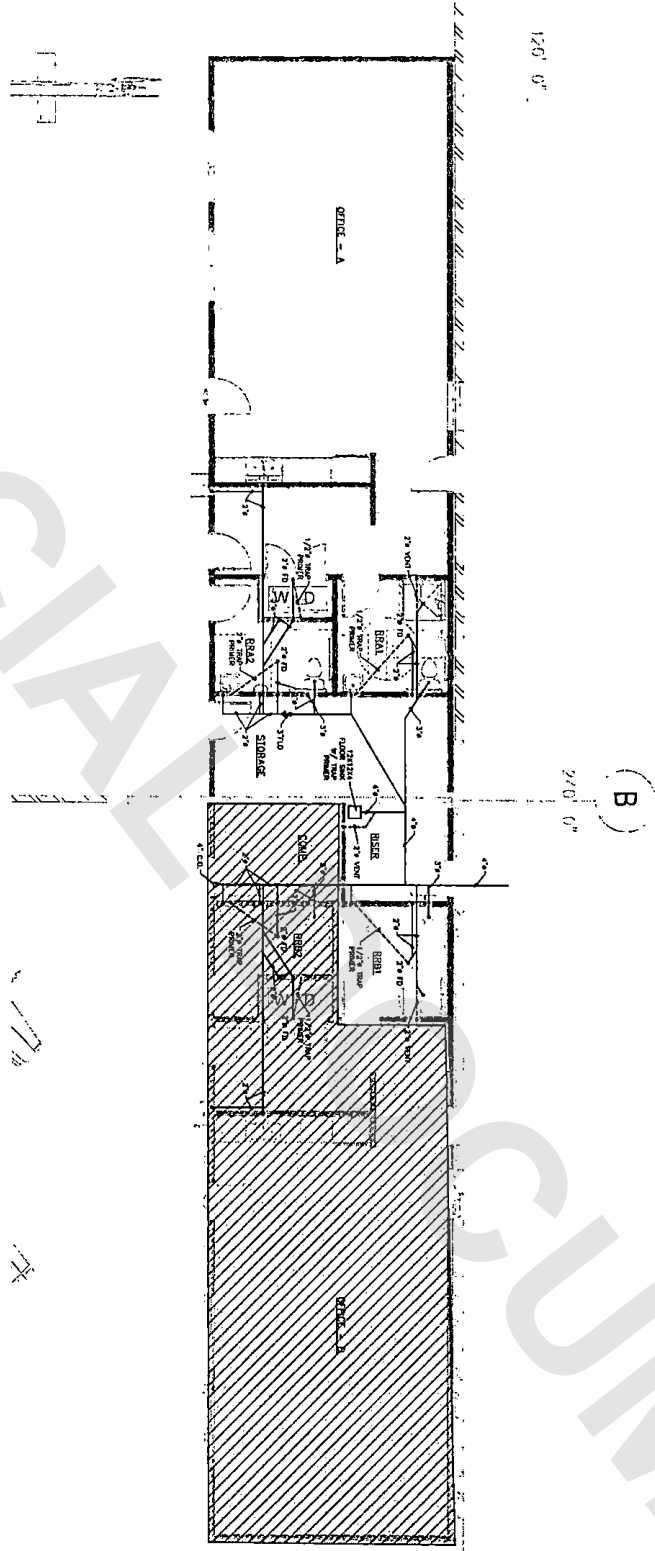
P-1.1



ATRICO
GENERAL CONTRACTOR
10000 W. 10TH AVENUE
DENVER, CO 80202
303.751.1000
WWW.ATRICO.COM

FISHER HANGER
PIPING MANUFACTURER
10000 W. 10TH AVENUE
DENVER, CO 80202
303.751.1000
WWW.FISHERHANGER.COM

UNDERGROUND WASTE PLAN

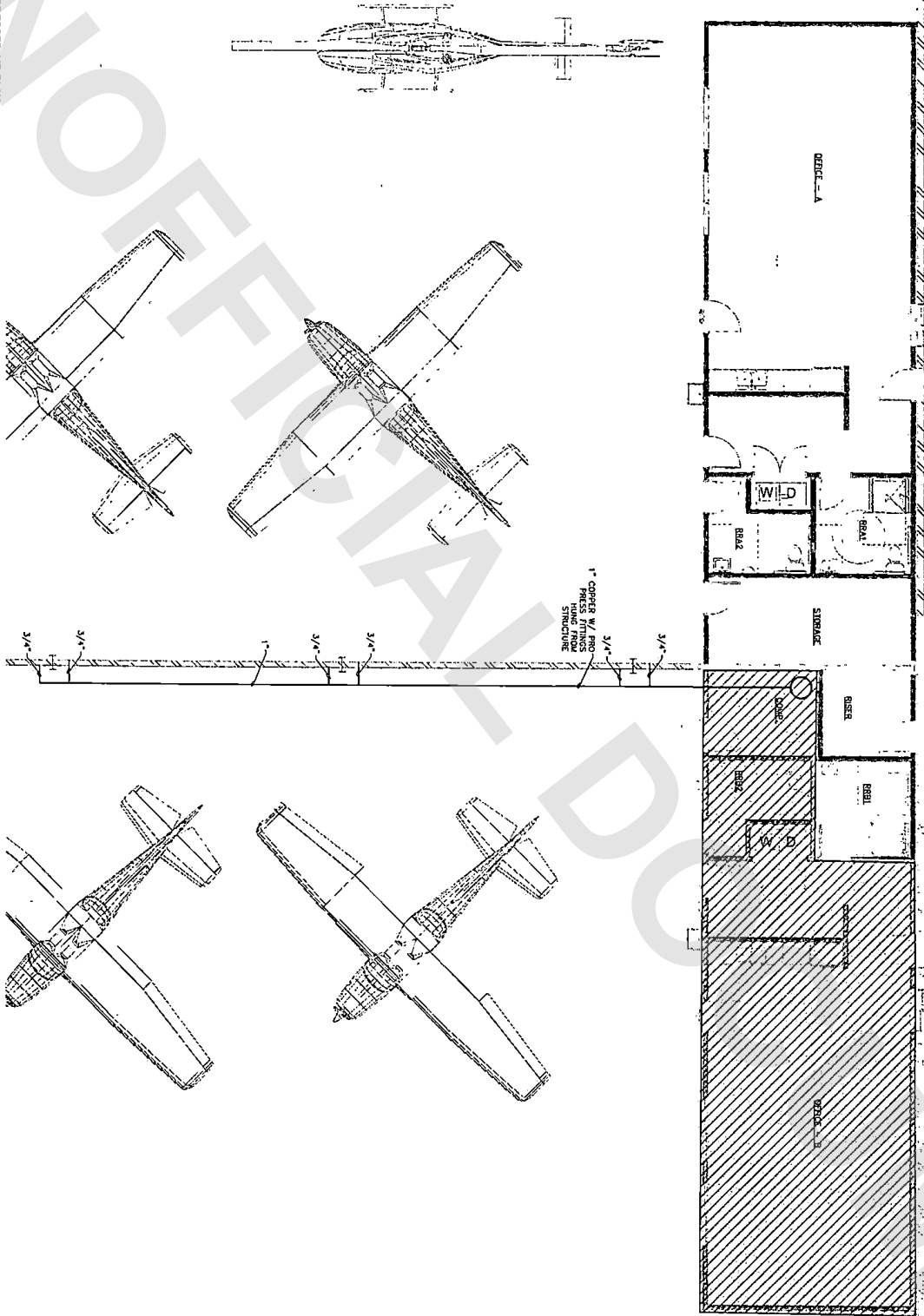


B
 2'10" 0"

12'0" 0"

| | | | | | |
|---|---|----------------------|--------------------------|-------------------|---|
| <p>ATRICO GENERAL CONTRACTOR 10000 W. 10th Ave., Suite 100 Denver, CO 80202 Phone: (303) 751-1100 Fax: (303) 751-1101</p> | <p>ABD D&G ENGINEERS 10000 W. 10th Ave., Suite 100 Denver, CO 80202 Phone: (303) 751-1100 Fax: (303) 751-1101</p> | <p>FISHER HANGER</p> | <p>PROJECT COMMENTS:</p> | <p>REVISIONS:</p> | <p>UNDERGROUND WASTE PLAN 23 JANUARY 2024 P-1.0</p> |
|---|---|----------------------|--------------------------|-------------------|---|

COMPRESSED AIR PLAN



1" COPPER W/ PRO-
 PRESS FITTINGS
 THROUGH WALLS
 AND CEILING

| | | | | | | |
|--------------|---|-------------------|--------------------------|----------------------|--|--|
| <p>P-1.2</p> | <p>22 JANUARY 2011</p> <p>COMPRESSED AIR PLAN</p> | <p>REVISIONS:</p> | <p>PROJECT COMMENTS:</p> | <p>FISHER HANGER</p> | | |
|--------------|---|-------------------|--------------------------|----------------------|--|--|

1. COORDINATE MECHANICAL WORK WITH ELECTRICAL, ARCHITECTURAL, STRUCTURAL, O&M WORK SHOWN ON OTHER CONTRACT DOCUMENTS. PROVIDE ADDITIONAL OFFSETS FOR COORDINATED INSTALLATION WHERE REQUIRED.
2. COORDINATE HVAC, PLUMBING, AND INSULATION WORK PRIOR TO INSTALLATION. DUCTWORK AND EQUIPMENT ACCESS TAKES PRECEDENCE OVER PIPING FOR AVAILABLE SPACE.
3. WHERE USED, THE TERM "PROVIDE" SHALL MEAN FINISH AND COORDINATE EQUIPMENT CONNECTIONS WITH MANUFACTURERS CERTIFIED DRAWINGS. COORDINATE AND PROVIDE DUCT AND PIPING TOLERANCES REQUIRED FOR FINAL EQUIPMENT CONNECTIONS TO PERMANENT EQUIPMENT. FIELD VERIFY AND COORDINATE DUCT AND PIPING INSTALLATION OF METALLURGICAL STEEL. REQUIRED FINISHING PROPER INSTALLATION OF METALLURGICAL SYSTEMS.
4. COORDINATE ATTACHMENTS TO STRUCTURE TO VERIFY THAT ATTACHMENT POINTS ON THE EQUIPMENT AND STRUCTURE CAN ACCEPT 2. REEFS TO TYPICAL DETAILS SHOWN IN THE DRAWING SET FOR DUCTWORK, PIPING, AND EQUIPMENT INSTALLATION. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH DETAILS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFE KEEPING OF HIS RESPONSIBILITY FOR PROTECTION OF PRIORITIES AGAINST THE, THEFT AND ENVIRONMENTAL CONDITIONS.
6. CLEAN THE JOBSITE DAILY AND REMOVE FROM THE PREMISES ANY DIRT AND DEBRIS CAUSED BY THE PERFORMANCE OF THE WORK INCLUDING FIXTURES, PROPOSED DUCTS, PIPING AND SIMILAR ITEMS.
7. PROVIDE EQUIPMENT THAT FITS INTO THE SPACE ALLOTTED AND ALLOWS ADEQUATE ACCEPTABLE CLEARANCE FOR INSTALLATION, APPROXIMATELY: THREE SPACING AND MAINTAINANCE COORDINATE WITH PERMANENT EQUIPMENT MANUFACTURER'S REQUIREMENTS.
8. PROVIDE OFFSETS IN PIPING WHERE EQUIPMENT CONNECTIONS WALL IS LOCATED DIRECTLY ABOVE STRUCTURE. OFFSET PIPING INTO CEILINGWORK OR SLIGHT TIGHT WALL ON BACK INTO WALL ONCE BELOW STRUCTURE.
9. ALL FIELD WORK SHALL BE DONE USING PROPER TECHNIQUES AND MATERIALS. MATERIALS WITHIN FINISHES SHALL BE NON-COMBUSTIBLE OR SHALL BE USED IN SUCH A MANNER AS TO PREVENT THE PROPAGATION OF FIRE. NO INDEX OF FOOT WORK SHALL BE TAKEN EITHER IN ACCORDANCE WITH ASHRAE 64 OR U.L. 723.
10. MECHANICAL EQUIPMENT, PACKAGED UNITS, CONTROL PANELS, MOTOR STARTERS, MOTOR CONTROLLERS, VARIABLE FREQUENCY DRIVES AND OTHER EQUIPMENT SHALL BE PROVIDED BY THE CONTRACTOR. EQUIPMENT SHALL BE OF GREATER THAN MANUFACTURER'S RATED CURRENT CAPACITY FROM THE ELECTRICAL SYSTEM. INCLUDE VERIFIABLE FACTORY MANUFACTURE FOR SUCH EQUIPMENT INDICATING SERIAL OF EQUIPMENT IN ACCORDANCE WITH UL1995 AND UL 508A.
11. ALL DIMENSIONAL AREAS SHOWN ON THE DRAWINGS, ARE INTENDED FOR DUCTWORK AND PIPING. SIZE SHALL BE PROVIDED TO COMPENSATE FOR DUCTWORK DURING CONSTRUCTION.
12. PROVIDE TEMPORARY CURBS OVER OPEN ENDS OF EQUIPMENT AND DUCTWORK DURING CONSTRUCTION.
13. PROVIDE MANUAL VOLUME DAMPERS FOR EACH DIFFUSER, REGISTER AND DAMPER. MOTOR CONTROL DAMPERS, FINE DAMPERS, DUCT MOUNTED COILS, DUCT AIR-FLOW STATIONS AND LOWVOLT RERUNS.
14. EXISTING CONDITIONS ARE BASED ON RECORD DRAWINGS PROVIDED BY THE OWNER AND NOT LIMITED FIELD VERIFICATION BY OTHERS.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING CONDITIONS PRIOR TO SUBMITTING BIDDING. NO ADDITIONAL COMPENSATION WILL BE PROVIDED FOR ANY EXTRA DUE TO THE CONTRACTOR'S FAILURE TO VISIT THE PROJECT SITE PRIOR TO SUBMITTING BIDDING.

GENERAL NOTES

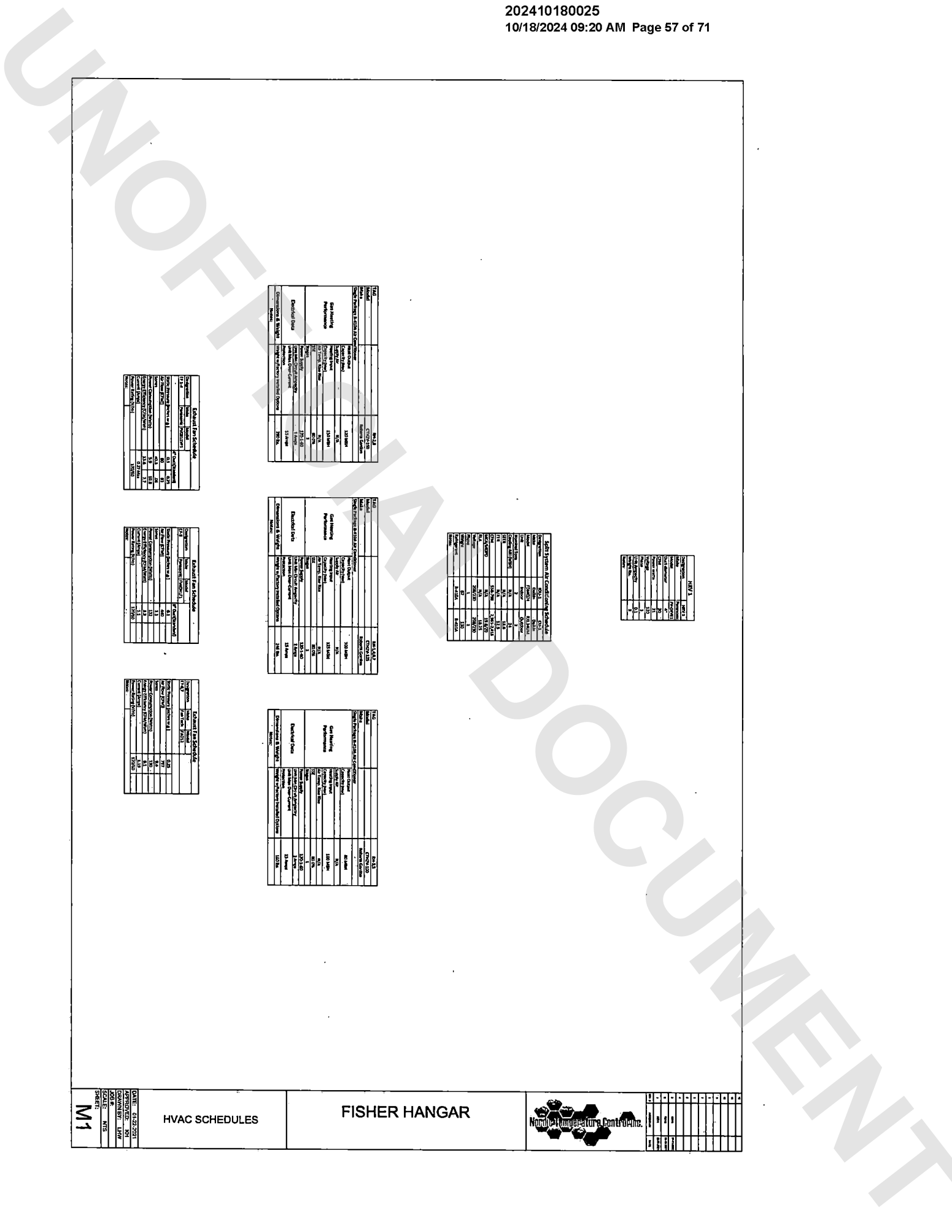
16. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER FOR RESOLUTION.
17. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS.
18. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR FOR ALL POWER REQUIREMENTS.
19. CONTRACTOR SHALL VERIFY ALL CLEARANCES BEFORE STARTING WORK.
20. CONTRACTOR SHALL VERIFY ALL CONNECTIONS TO PERMANENT EQUIPMENT AS FURNISHED TO THE STRUCTURE AND VERIFYING INSTRUMENTS, PRESERVE CEILING HEIGHTS AND HEADROOM AND MARKING ALL DUCT CONNECTIONS TO HVAC EQUIPMENT MUST BE MADE WITH INSTRUCTIONS.
21. DO NOT ATTACH anything to deck ABOVE. ATTACH TO STRUCTURE (I.E. BEAMS, JOISTS) ONLY. DUCT HANGERS SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODE. ALL CONNECTIONS TO JOISTS SHALL BE MADE AT THE TOP EDGE.
22. CONTRACTOR SHALL VERIFY ALL CONNECTIONS TO PERMANENT EQUIPMENT AS FURNISHED TO THE STRUCTURE AND VERIFYING INSTRUMENTS, PRESERVE CEILING HEIGHTS AND HEADROOM AND MARKING ALL DUCT CONNECTIONS TO HVAC EQUIPMENT MUST BE MADE WITH INSTRUCTIONS.
23. ALL DIMENSIONAL AREAS SHOWN ON THE DRAWINGS, ARE INTENDED FOR DUCTWORK AND PIPING. SIZE SHALL BE PROVIDED TO COMPENSATE FOR DUCTWORK DURING CONSTRUCTION.
24. PROVIDE TEMPORARY CURBS OVER OPEN ENDS OF EQUIPMENT AND DUCTWORK DURING CONSTRUCTION.
25. PROVIDE MANUAL VOLUME DAMPERS FOR EACH DIFFUSER, REGISTER AND DAMPER. MOTOR CONTROL DAMPERS, FINE DAMPERS, DUCT MOUNTED COILS, DUCT AIR-FLOW STATIONS AND LOWVOLT RERUNS.
26. EXISTING CONDITIONS ARE BASED ON RECORD DRAWINGS PROVIDED BY THE OWNER AND NOT LIMITED FIELD VERIFICATION BY OTHERS.
27. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING CONDITIONS PRIOR TO SUBMITTING BIDDING. NO ADDITIONAL COMPENSATION WILL BE PROVIDED FOR ANY EXTRA DUE TO THE CONTRACTOR'S FAILURE TO VISIT THE PROJECT SITE PRIOR TO SUBMITTING BIDDING.

| |
|-----------------------|
| DATE: 01-22-2021 |
| APPROVED: [Signature] |
| DRAWN BY: LHM |
| CHECKED: NIS |
| SHEET: MO |

FISHER HANGAR



| NO. | DATE | REVISION |
|-----|------|----------|
| 1 | | |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |



| HVAC 1 | |
|-------------|------|
| Room | 1001 |
| Room Name | 1001 |
| Room Area | 1001 |
| Room Volume | 1001 |
| Room Height | 1001 |
| Room Type | 1001 |
| Room Use | 1001 |
| Room Notes | 1001 |

| SCHED 1 System Air Conditioning Schedule | |
|--|-------------------------|
| System Name | SCHED 1 |
| System Type | System Air Conditioning |
| System Area | 1001 |
| System Volume | 1001 |
| System Height | 1001 |
| System Use | 1001 |
| System Notes | 1001 |

| HVAC 1 | |
|-------------|------|
| Room | 1001 |
| Room Name | 1001 |
| Room Area | 1001 |
| Room Volume | 1001 |
| Room Height | 1001 |
| Room Type | 1001 |
| Room Use | 1001 |
| Room Notes | 1001 |

| SCHED 1 System Air Conditioning Schedule | |
|--|-------------------------|
| System Name | SCHED 1 |
| System Type | System Air Conditioning |
| System Area | 1001 |
| System Volume | 1001 |
| System Height | 1001 |
| System Use | 1001 |
| System Notes | 1001 |

| HVAC 1 | |
|-------------|------|
| Room | 1001 |
| Room Name | 1001 |
| Room Area | 1001 |
| Room Volume | 1001 |
| Room Height | 1001 |
| Room Type | 1001 |
| Room Use | 1001 |
| Room Notes | 1001 |

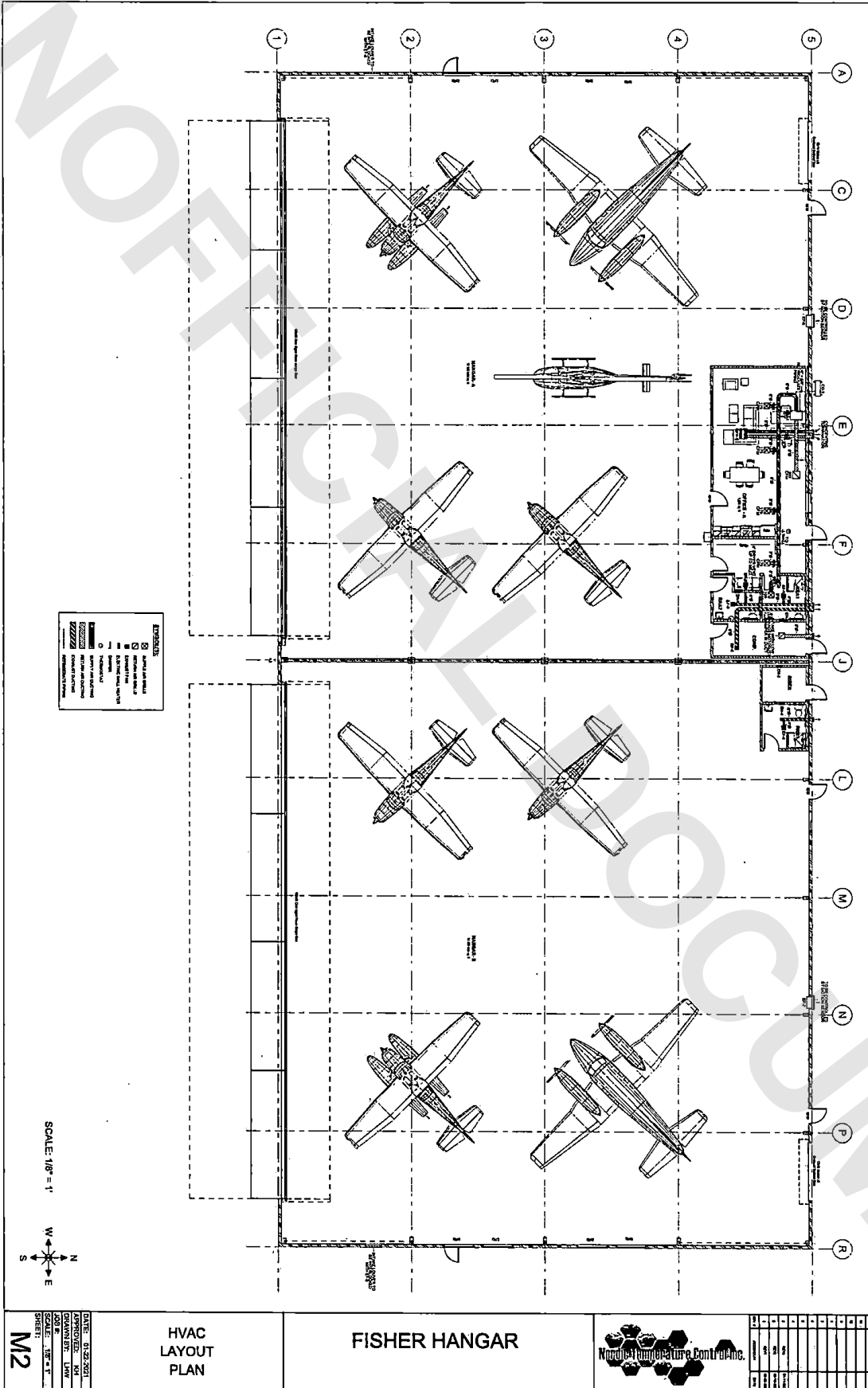
| Estimate Fan Schedule | |
|-----------------------|-------------------------|
| System Name | SCHED 1 |
| System Type | System Air Conditioning |
| System Area | 1001 |
| System Volume | 1001 |
| System Height | 1001 |
| System Use | 1001 |
| System Notes | 1001 |

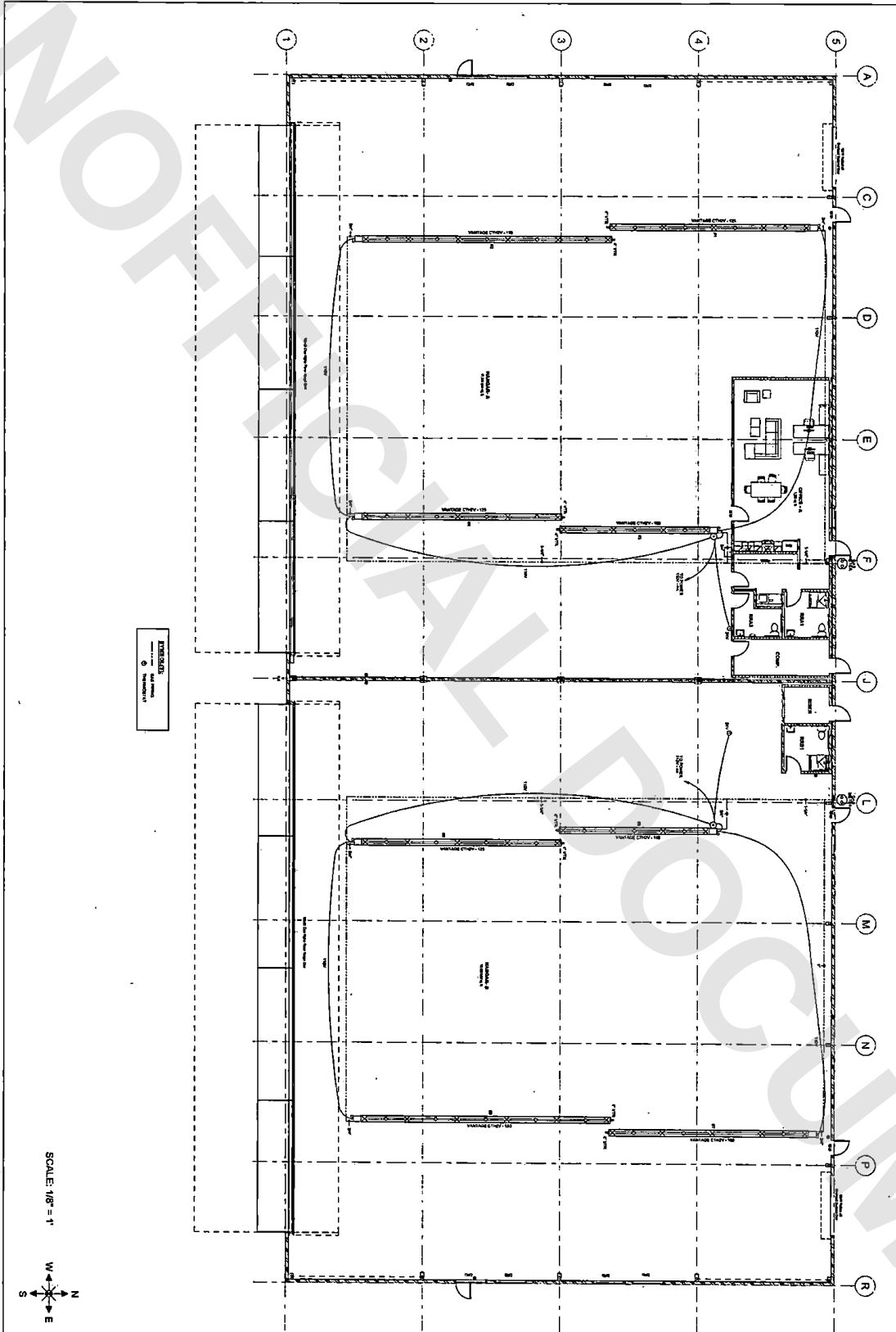
| Estimate Fan Schedule | |
|-----------------------|-------------------------|
| System Name | SCHED 1 |
| System Type | System Air Conditioning |
| System Area | 1001 |
| System Volume | 1001 |
| System Height | 1001 |
| System Use | 1001 |
| System Notes | 1001 |

| Estimate Fan Schedule | |
|-----------------------|-------------------------|
| System Name | SCHED 1 |
| System Type | System Air Conditioning |
| System Area | 1001 |
| System Volume | 1001 |
| System Height | 1001 |
| System Use | 1001 |
| System Notes | 1001 |

FISHER HANGAR

HVAC SCHEDULES





REVISIONS
 1. 10/18/24
 2. 10/18/24

SCALE: 1/8" = 1'



| M3 | HVAC TUBE HEATER LAYOUT PLAN | FISHER HANGAR | | <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>BY</th> <th>CHKD.</th> <th>APP.</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table> | NO. | DATE | BY | CHKD. | APP. | | | | | |
|--|------------------------------------|---------------|--|--|-----|-------|------|-------|------|--|--|--|--|--|
| | NO. | DATE | | | BY | CHKD. | APP. | | | | | | | |
| | | | | | | | | | | | | | | |
| DATE: 01/22/2021 APPROVED: [Signature] DRAWING BY: LHM SCALE: 1/8" = 1' SHEET: | | | | | | | | | | | | | | |

10/18/2024 8:45:31 AM

| Job No. | Job Name | Job Description | Job Location | Job Status | Job Type | Job Category | Job Sub-Category | Job Code | Job Title | Job Grade | Job Salary | Job Benefits | Job Remarks |
|---------|----------|-----------------|--------------|------------|----------|--------------|------------------|----------|-----------|-----------|------------|--------------|-------------|
| 10001 | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... |
| 10002 | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... |
| 10003 | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... |
| 10004 | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... |
| 10005 | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... |
| 10006 | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... |
| 10007 | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... |
| 10008 | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... |
| 10009 | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... |
| 10010 | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... |
| 10011 | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... |
| 10012 | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... |
| 10013 | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... |
| 10014 | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... |
| 10015 | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... |
| 10016 | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... |
| 10017 | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... |
| 10018 | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... |
| 10019 | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... |
| 10020 | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... |

VECA
VETERANS EMPLOYERS
COUNCIL OF AMERICA
5315 W. WYOMING AVE.
SUITE 200
DENVER, CO 80236
TEL: 303.733.1300
WWW.VECA-USA.ORG

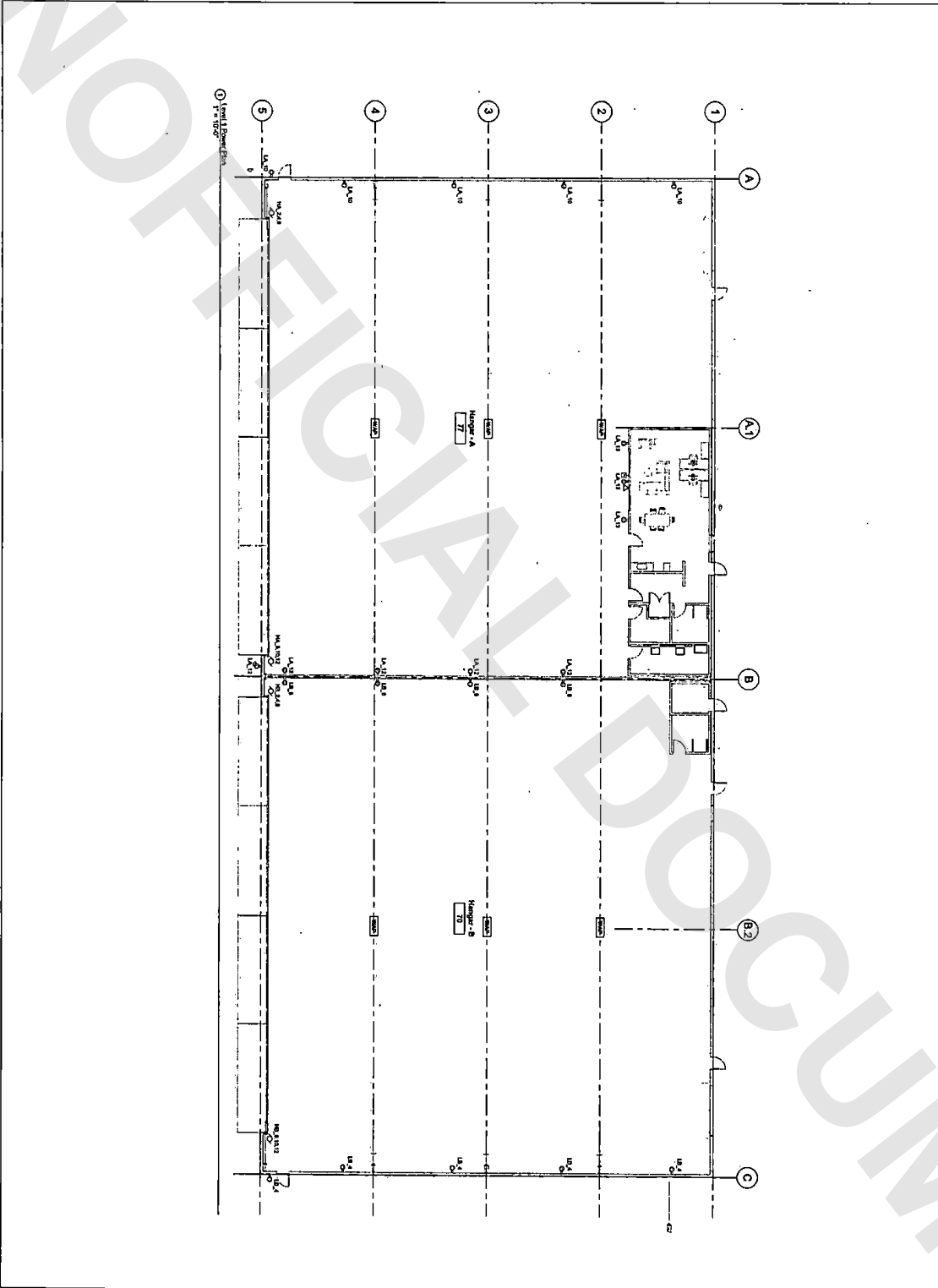
Fisher Hanger

ATRICO

DATE: 10/11/2024
JOB NO: 10001
JOB NAME: ...
JOB LOCATION: ...
JOB STATUS: ...
JOB TYPE: ...
JOB CATEGORY: ...
JOB SUB-CATEGORY: ...
JOB CODE: ...
JOB TITLE: ...
JOB GRADE: ...
JOB SALARY: ...
JOB BENEFITS: ...
JOB REMARKS: ...

E001

10/29/2021 8:45:37 AM



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VECA
 750 SOUTH MAIN ST.
 SUITE 100
 DENVER, CO 80202

Fisher Hanger

DATE: 10/18/2024

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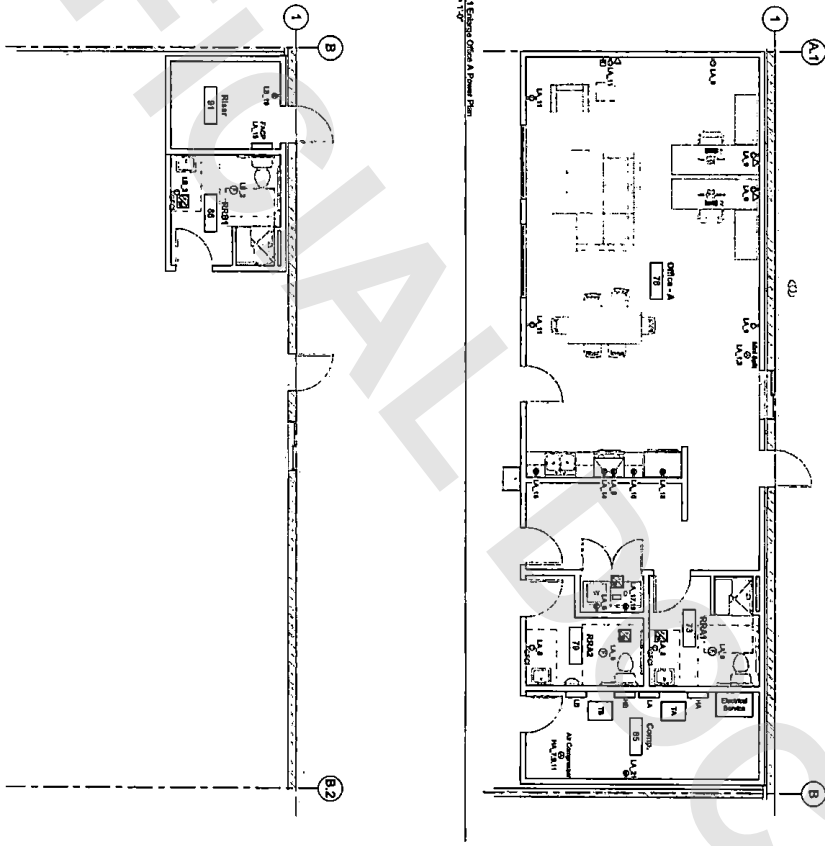
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|------------|------------|
| DATE | 2021.12.23 |
| JOB NO. | 100111 |
| DRAWN BY | JM |
| CHECKED BY | JM |
| DATE | |

Overall Power Plan

Sheet No.

E200

10/25/2021 8:45:41 AM



Level 1 - Fishers Office B Power Plan

Level 1 - Fishers Office A Power Plan

ELECTRICAL
VECA
 VECA ELECTRICAL
 1700 W. STATE ST.
 SUITE 100
 FISHERS, IN 46038
 (317) 251-1100
 www.veca.com

Fisher Hanger

ATRICO

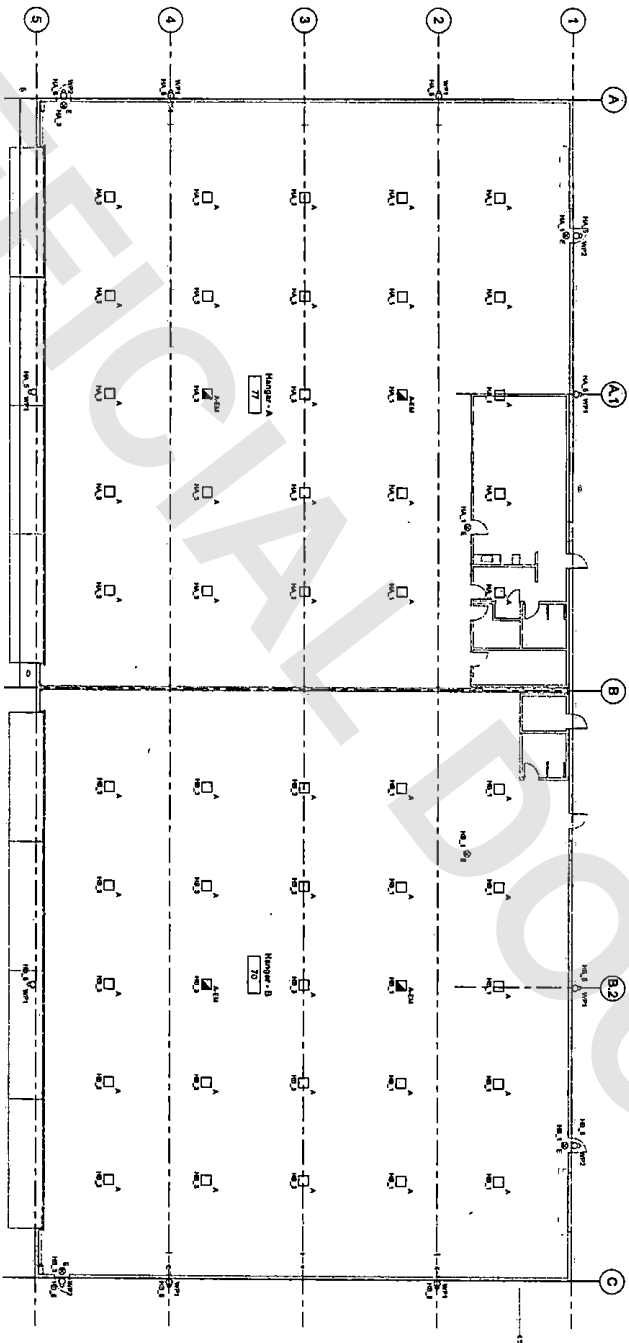
ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED
 DATE 05/01/2014 BY 60322/UCBAW/SJS
 REASON FOR UNCLASSIFICATION: 25X 1.4
 AUTHORITY: 60322/UCBAW/SJS
 DATE 05/01/2014 BY 60322/UCBAW/SJS
 APPROVED FOR RELEASE BY NSA/CSS
 AUTHORITY: 60322/UCBAW/SJS
 DATE 05/01/2014 BY 60322/UCBAW/SJS

| | |
|-------------|------------|
| Date: | 2021/10/23 |
| Job No: | 202111 |
| Drawn By: | JML |
| Checked By: | MD |
| Drawn By: | JML |
| Checked By: | MD |

Enlarged Office
 Power Plans
E201

10/23/2024 8:45:34 AM

Level 1 Exterior and Hanger Lighting Plan



| LUMINAIRE SCHEDULE | |
|--------------------|-----------------------------------|
| SYMBOL | DESCRIPTION |
| 1 | 4' x 4' RECESSED SQUARE DOWNLIGHT |
| 2 | 4' x 4' RECESSED SQUARE DOWNLIGHT |
| 3 | 4' x 4' RECESSED SQUARE DOWNLIGHT |
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| 99 | 4' x 4' RECESSED SQUARE DOWNLIGHT |
| 100 | 4' x 4' RECESSED SQUARE DOWNLIGHT |

E300

Level 1 Exterior and Hanger Lighting Plan

Date: 2024.10.18
 Job No: 2024.10.18
 Drawn By: [Name]
 Checked By: [Name]

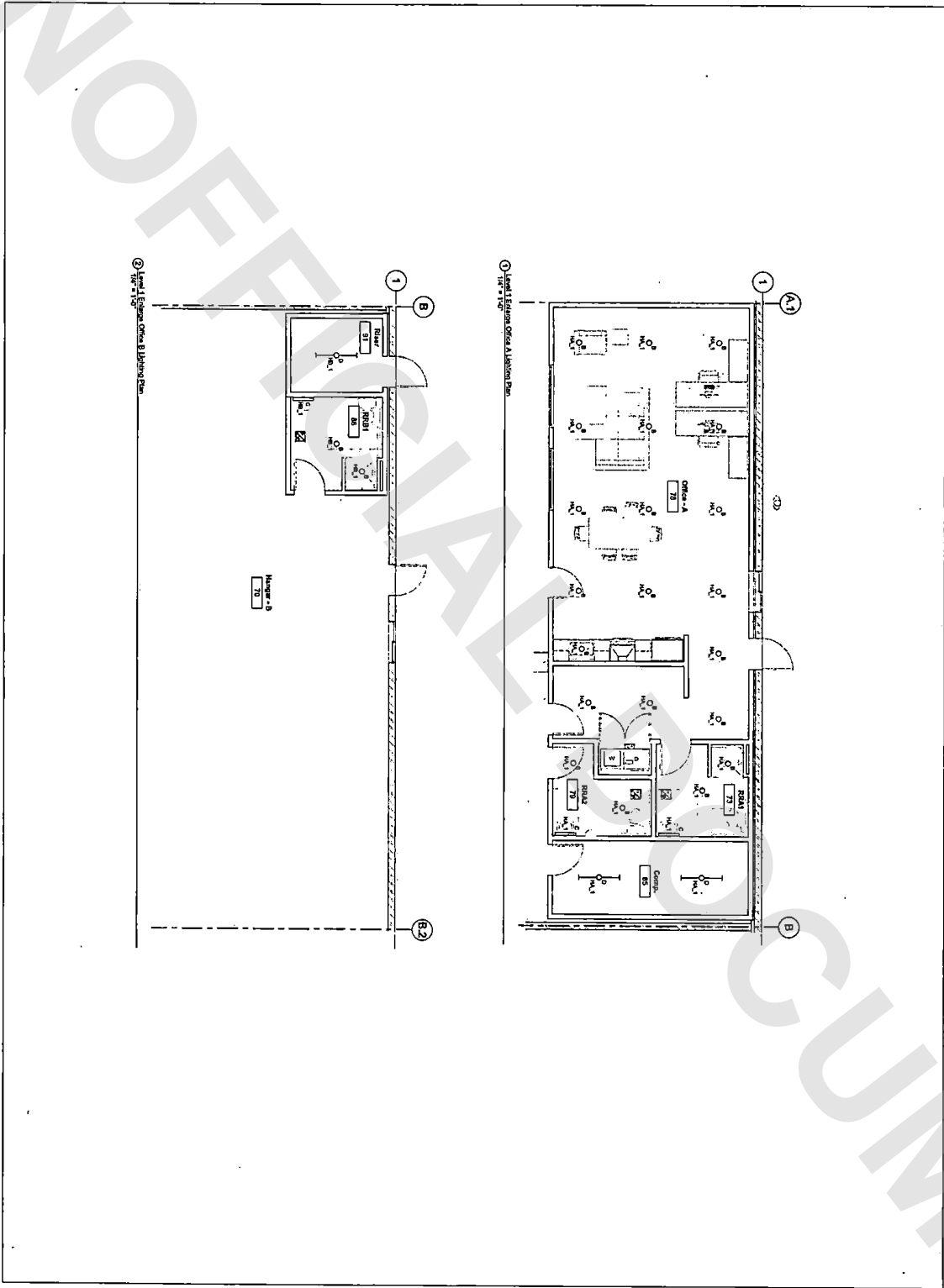


Fisher Hanger



SEATTLE, WASHINGTON

10/28/2021 8:45:47 AM



ELECTRICAL



Fisher Hanger

Page Number



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| | |
|------------|------------|
| Date | 2021.10.28 |
| Rev. No. | 0001 |
| Drawn By | JAD |
| Checked By | MS |

Employed Office Lighting Plans

E301

EXHIBIT 3

After Recording Return To:

PORT OF SKAGIT COUNTY
15400 AIRPORT DRIVE
BURLINGTON, WA 98233

ASSIGNMENT OF LEASE AND CONSENT THERETO

DATED THIS ____ DAY OF _____ 2__

Reference number(s) of document(s) assigned or released: _____

Assessor's Parcel/Tax ID Number: ____ - ____ - ____ /P_____

A. RECITALS

WHEREAS, the PORT OF SKAGIT COUNTY, a Washington municipal corporation, ("Lessor"), and _____, a _____ entered into a lease for the real property legally described as _____ (the "Premises") and recorded under Skagit County Auditor's file number _____ ("Lease"); and

WHEREAS, _____ ("Assignor") has transferred the improvements on the Premises and wishes to assign the Tenant's interest in the Lease to _____, a _____ ("Assignee"), of which transfer and assignment the Lessor approves; and

NOW, THEREFORE, BASED ON THE FORGOING, THE PARTIES NOW ACT AND AGREE AS FOLLOWS:

B. ASSIGNMENT

FOR VALUE RECEIVED: (1) Assignor, hereby grants, bargains, sells, assigns, transfers and delivers unto Assignee, Assignor's interest in the Lease; and (2) Assignee hereby agrees to accept assignment of the Lease.

C. CONSENT

Lessor hereby consents to the forgoing Assignment of the Lease subject to and contingent upon compliance with the following agreements and conditions:

1. Assignee hereby unconditionally: (a) assumes all of Assignor's obligations contained in the Lease; and (b) accepts, and agrees and covenants to comply with, and guarantees performance and fulfillment of, all the terms and conditions contained in the Lease.
2. Assignor hereby agrees to comply with all its financial obligations as Lessee incurred to the Lessor through the date of assignment or as thereafter may be determined to have been incurred prior to the date of assignment.
3. A determination by the Lessor, at its sole discretion, that: (a) Assignee is financially responsible to meet Lessee's financial obligations pursuant to the Lease.
4. The Assignee hereby agrees that all notices and payments hereunder may be delivered or mailed as set forth herein. If delivered by messenger, courier (including overnight air courier) or facsimile transmittal, the same shall be deemed delivered when received at the street addresses or facsimile numbers listed below. Lessor shall have no obligation to deliver any notice to Assignor. All notices and payments mailed, whether sent by regular post or by certified or registered mail, shall be deemed to have been given on the second business day following the date of mailing, if properly mailed to the mailing addresses provided below, and shall be conclusive evidence of the date of mailing. The parties may designate new or additional addresses for mail or delivery by providing notice to the other party as provided in this section.

| | | |
|--------------------------|---|--|
| <u>To Lessor:</u> | <u>Street Address:</u> Port of Skagit County 15400 Airport Drive Burlington, WA 98233 Phone No.: (360) 757-0011 Fax No.: (360) 757-0014 | <u>Mailing Address:</u> Port of Skagit County 15400 Airport Drive Burlington, WA 98233 |
|--------------------------|---|--|

| | | |
|----------------------------|--|--|
| <u>To Assignee:</u> | <u>Street Address:</u> _____ c/o _____ _____ _____, WA 98____ Phone No.: (360) _____ - _____ Fax No.: (360) _____ - _____ | <u>Mailing Address:</u> Same as Street Address |
|----------------------------|--|--|

PORT OF SKAGIT
 ASSIGNMENT OF LEASE WITH CONSENT THERETO
 ASSIGNOR: _____
 ASSIGNEE: _____

The signature of Assignor hereinafter made constitutes evidence of Assignor's acceptance of the terms and conditions herein stated as set forth in paragraph C above. The signature of the Assignee hereinafter made constitutes evidence of Assignee's acceptance of the terms and conditions herein stated and agreement to comply with the matters referenced in the paragraph C above and Assignee's guarantee of the performance and fulfillment of the obligations in the Lease.

ASSIGNOR: _____ ASSIGNEE: _____

By: _____ By: _____

Its: _____ Its: _____

Date: _____ Date: _____

Attest: _____ Attest: _____

By: _____ By: _____

Its: _____ Its: _____

STATE OF WASHINGTON)
) ss.
COUNTY OF SKAGIT)

ACKNOWLEDGEMENT AS APPROPRIATE

Witness my hand and official seal hereto affixed the say and year first above written.

Notary Public in and for the state of
Washington, residing at _____
My commission expires: _____
Printed Name: _____

PORT OF SKAGIT
ASSIGNMENT OF LEASE WITH CONSENT THERETO
ASSIGNOR: _____
ASSIGNEE: _____

STATE OF WASHINGTON)
) ss.
COUNTY OF SKAGIT)

ACKNOWLEDGEMENT AS APPROPRIATE

Witness my hand and official seal hereto affixed the say and year first above written.

Notary Public in and for the state of
Washington, residing at _____
My commission expires: _____

Printed Name: _____

PORT OF SKAGIT
ASSIGNMENT OF LEASE WITH CONSENT THERETO
ASSIGNOR: _____
ASSIGNEE: _____

