



SKAGIT COUNTY PARKS & RECREATION SKAGIT COUNTY FAIRGROUNDS PAVING MAINTENANCE

SEC. 30, TWP. 34N., RGE. 04 E., W.M. CITY OF MOUNT VERNON, SKAGIT COUNTY, WASHINGTON



SHEET INDEX

C1	COVER SHEET
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C7	DETAILS
C8	DETAILS
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CALL BEFORE YOU DIG
FOR BURIED UTILITY LOCATIONS
1-800-424-5555

LEGEND

<ul style="list-style-type: none"> ⊕ = TEMPORARY BENCH MARK ⊙ = FOUND ALUMINUM CAP MON ⊙ = FOUND CONC MON ⊙ = EXISTING STORM DRAIN CATCH BASIN (TYPE 1) ⊙ = EXISTING STORM DRAIN CATCH BASIN (TYPE 2) ⊙ = EXISTING SANITARY SEWER MANHOLE ⊙ = EXISTING SANITARY SEWER CLEANOUT ⊙ = PROPOSED SEWER CLEANOUT ⊙ = PROPOSED SEWER MANHOLE ⊙ = EXISTING WATER METER BOX ⊙ = EXISTING FIRE HYDRANT ⊙ = EXISTING WATER VALVE ⊙ = PROPOSED WATER VALVE ⊙ = EXISTING POWER/AND OR UTILITY POLE ⊙ = EXISTING GUY WIRE ⊙ = EXISTING POWER STRUCTURE ⊙ = EXISTING SIGN ⊙ = EXISTING FLAG POLE ⊙ = EXISTING LANDSCAPING ⊙ = EXISTING GAS METER ⊙ = DETAIL CALLOUT 	<ul style="list-style-type: none"> —OP—OP— = EXISTING OVERHEAD ELECTRIC LINES —FO—FO— = EXISTING FIBER OPTIC LINE —P—P— = EXISTING UNDERGROUND POWER —OT—OT— = EXISTING OVERHEAD PHONE —T—T— = EXISTING UNDERGROUND PHONE —OH—OH— = EXISTING OVERHEAD UTILITIES (UNKNOWN) —TV—TV— = EXISTING UNDERGROUND TV CABLE —G—G— = EXISTING GAS MAIN —W—W— = EXISTING WATER LINE —S—S— = EXISTING SANITARY SEWER LINE —SS—SS— = PROPOSED SANITARY SEWER LINE —W—W— = PROPOSED WATER LINE —>> = EXISTING FLOW LINE & DIRECTION —D—D— = EXISTING STORM DRAIN LINE —X—X— = EXISTING CHAIN LINK FENCE —10— = EXISTING CONTOUR (INDEX) —11— = EXISTING CONTOUR (NORMAL) —10— = PROPOSED CONTOUR (INDEX) —11— = PROPOSED CONTOUR (NORMAL)
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- [Pattern] = ASPHALT PAVEMENT TO BE REMOVED
- [Pattern] = CONCRETE PAVEMENT TO BE REMOVED
- [Pattern] = PROPOSED ASPHALT PAVEMENT
- [Pattern] = PROPOSED ASPHALT PAVEMENT (FULL DEPTH REPLACEMENT)
- [Pattern] = RESTORE W/ TOPSOIL & SOD
- [Pattern] = SEAL COAT

SURVEY NOTE

DIGITAL COPIES OF THE CIVIL SITE PLANS WILL BE PROVIDED TO THE CONTRACTOR FOR REFERENCE. ALL UTILITY STRUCTURES, SAWCUTS AND OTHER COMPONENTS NECESSARY FOR CONSTRUCTION SHALL BE STAKED BY A LICENSED SURVEYOR PRIOR TO CONSTRUCTION AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO PROVIDE AS-BUILT SURVEY TO BE PERFORMED BY LICENSED SURVEYOR FOR ALL SEWER STRUCTURES AND CLEANOUT LOCATIONS, INCLUDE PIPE INVERT ELEVATIONS.

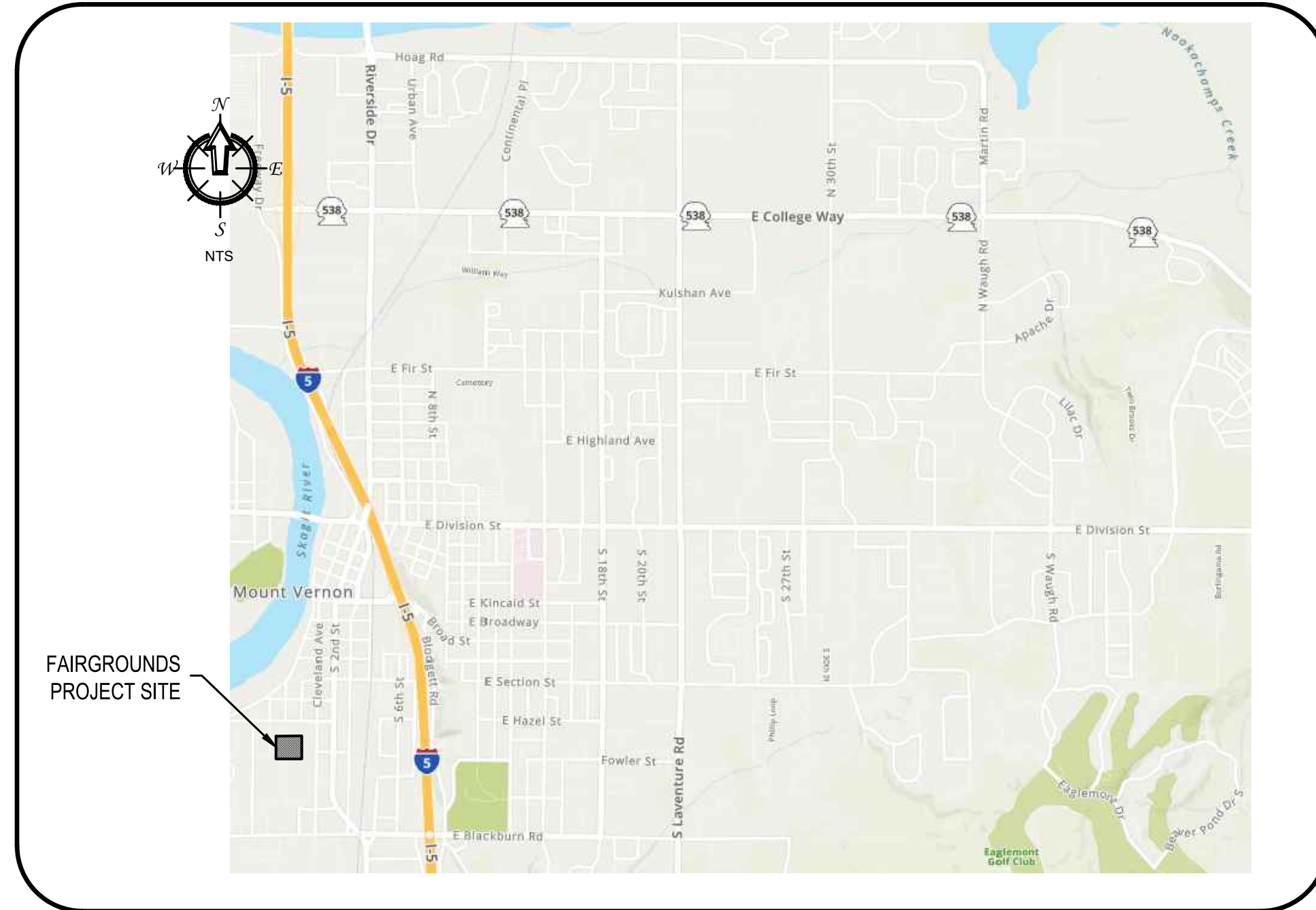
PROJECT INFORMATION

<p>OWNER SKAGIT VALLEY COLLEGE/SKAGIT COUNTY PARKS & REC BRIAN ADAMS, DIRECTOR JOSEPH SHEA, OPERATIONS AND LAND MANAGER 1730 CONTINENTAL PLACE MOUNT VERNON, WA 98273 (360) 416-1356 jashea@co.skagit.wa.us</p>	<p>FIBER OPTIC GARY VERVALIN WAVE BROADBAND PHONE: (425) 896-1958 MOB: (360) 630-8499 gvervalin@wavebroadband.com</p>	<p>FRONTIER CHRIS PARMETER 595 PEASE ROAD BURLINGTON, WA 98233 TEL: (360) 707-0641 FAX: (360) 757-4338 CONTACT: chris.parmeter@fr.com</p>
<p>CIVIL ENGINEER FREELAND & ASSOCIATES, INC. MILES MCEATHRON, PE 2500 ELM STREET, SUITE 1 BELLINGHAM, WASHINGTON 98225 (360) 650-1408 mmceathron@freelandengineering.com</p>	<p>CASCADE NATURAL GAS JIM HOBBS 1520 SOUTH 2ND MOUNT VERNON, WA 98273 (360) 336-6155 james.hobbs@cngc.com</p>	<p>COMCAST CASEY JONES 400 SEQUOIA DRIVE BELLINGHAM, WA 98225 TEL: (360) 527-8243 FAX: (360) 527-8302 casey_jones@cable.comcast.com</p>
<p>SURVEYOR JEPSON & ASSOCIATES, PS STEFAN LAUFER, PLS 222 GRAND AVENUE, SUITE C BELLINGHAM, WASHINGTON 98225 (360) 733-5760 stefan@jepsonengineering.com</p>	<p>PUGET SOUND ENERGY (POTELCO) MICHAEL JUDY 1660 PARK LANE BURLINGTON, WA 98233 TEL: (360) 766-5686 mike.judy@pse.com</p>	<p>WATER PURVEYOR SKAGIT PUD #1 MIKE DEMERS P.O. BOX 1436 MOUNT VERNON, WA 98273 TEL: (360) 242-7104 demers@skagitpud.com</p>

TAX PARCEL #
P29163

CITY ENGINEERING INSPECTION
INSPECTION REQUESTS TO BE SCHEDULED USING PERMIT PORTAL AT:
<https://ci-mountvernon-wa.smartgovcommunity.com/Application/ApplicationInspectionRequest>
DEVELOPMENT SERVICES ENGINEERING MANAGER
ALAN DANFORTH
TEL: (360) 336-6214
aland@mountvernonwa.gov

VICINITY MAP



City of MOUNT VERNON **FILL & GRADE PERMIT**

This set of plans is approved for construction in accordance with the City of Mount Vernon's codes and policies. Approval of this set of plans does not imply or convey permission to construct any item unless accompanied by a signed and approved permit covering the work. Actual conformance of the design with applicable laws is the sole responsibility of the professional engineer whose name and stamp appear on this set of plans. Acquiring, complying with, and providing mitigation for all applicable Federal, State, County, and local laws, permits and mandates, is the responsibility of the Landowner, Engineer, and Contractors working on this project. The approval of this plan set shall not be construed as proof of compliance with applicable laws and permit requirements. The approval of this plan set will expire one-year from the date City staff signed this plan set.

Signed: 04/07/2026
Alan Danforth, Engineering Manager

	BY:		DESCRIPTION:						
	REV:	DATE:							
PROJECT LOCATION:	SKAGIT COUNTY PARKS & RECREATION 1730 CONTINENTAL PLACE MOUNT VERNON, WA 98273 CALL BEFORE YOU DIG 1-800-424-5555								
PROJECT:	SKAGIT COUNTY FAIRGROUNDS PAVING MAINTENANCE VIRGINIA STREET & 2700 MARTIN RD MOUNT VERNON, WA 98273 DRAWN BY: MPM CHECKED BY: MDB								
SHEET CONTENTS:	COVER SHEET								
JOB #:	23057				DATE:	04/06/2026			
SHEET:	C1								

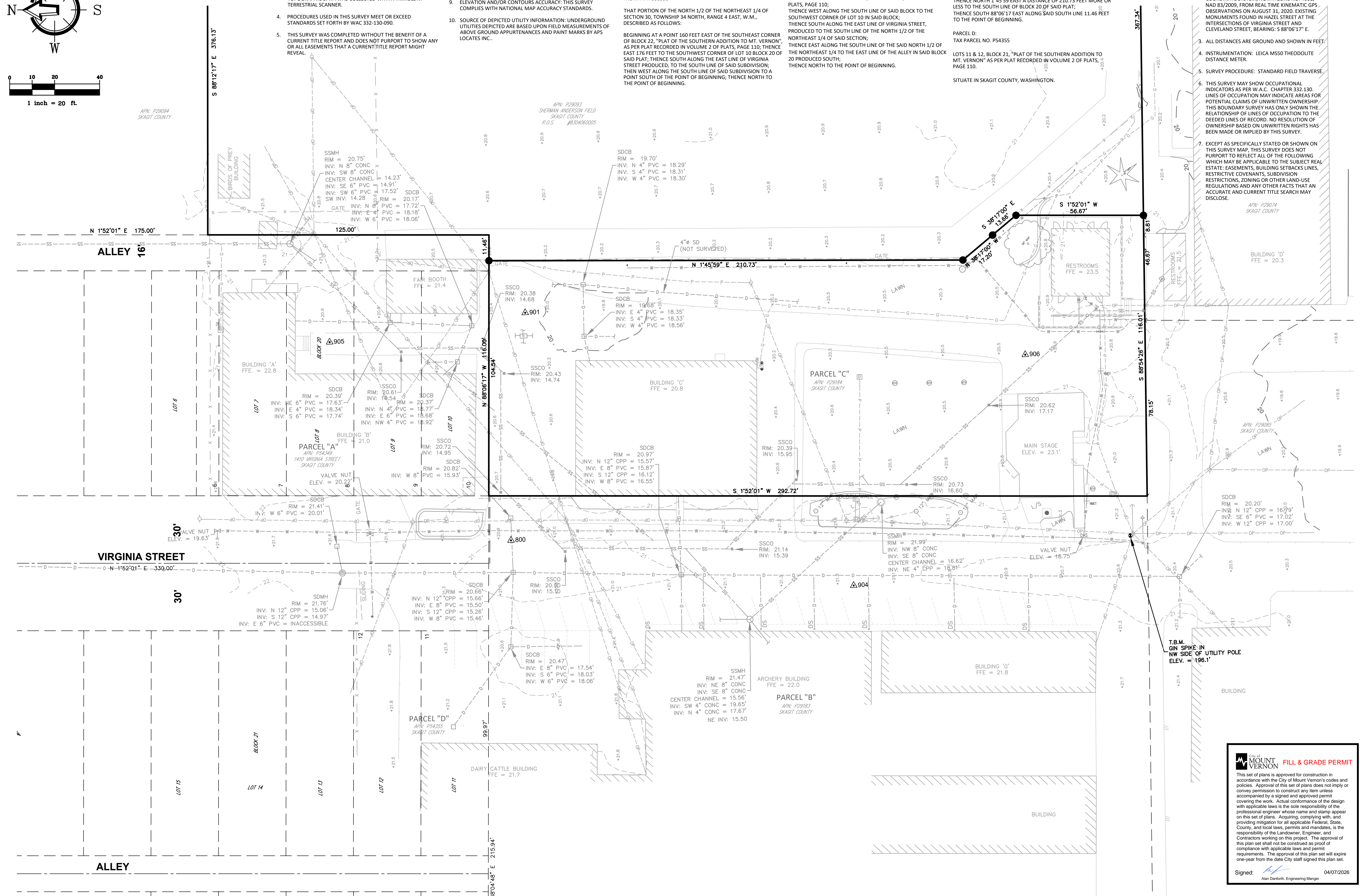
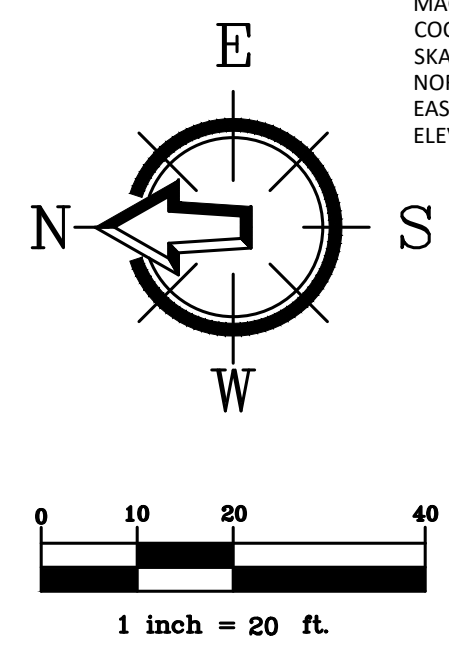
TOPOGRAPHIC SURVEY COMPLETED BY JEPSON & ASSOCIATES, DATED FEBRUARY 2, 2024. BOUNDARY SURVEY COMPLETED BY SEMRAU ENGINEERING & SURVEYING.

CONTROL NOTES (JEPSON):
 HORIZONTAL DATUM & BASIS OF BEARINGS:
 NAD 83/09 (USFT) WASHINGTON STATE PLANE, NORTH ZONE
 BASIS OF COORDINATES & REFERENCE BENCHMARK:
 MAG NAIL (#900)
 COORDINATES DERIVED FROM TOPOGRAPHIC SURVEY FOR THE SKAGIT FAIRGROUNDS PAVING PROJECT NO. 6006 DATED 02/14/2022.
 NORTHING: 518293.97
 EASTING: 1,274,213.74
 ELEVATION: 20.85 (USFT) NAVD88

SURVEYOR'S NOTES: (JEPSON)
 1. THIS TOPOGRAPHIC SURVEY WAS PERFORMED IN NOVEMBER OF 2023. ALL MONUMENTS SHOWN HEREON WERE VISITED DURING THE COURSE OF THIS SURVEY, UNLESS OTHERWISE NOTED.
 2. ANGULAR AND LINEAR MEASUREMENTS WERE MADE USING A COMBINATION OF CONVENTIONAL AND GNSS METHODS. PRIMARY CONTROL AND TOPOGRAPHIC DATA WERE OBSERVED USING A SURVEY GRADE CARLSON BR7 GPS RECEIVERS ON WSRN NETWORK AND A GEOMAX CR2+ 2 SECOND ROBOTIC TOTAL STATION CALIBRATED WITHIN THE LAST YEAR. SUPPLEMENTAL TOPOGRAPHIC DATA WAS COLLECTED WITH A TRIMBLE X7 TERRESTRIAL SCANNER.
 3. PROCEDURES USED IN THIS SURVEY MEET OR EXCEED STANDARDS SET FORTH BY WAC 332-130-090.
 4. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND DOES NOT PURPORT TO SHOW ANY OR ALL EASEMENTS THAT A CURRENT TITLE REPORT MIGHT REVEAL.
 5. THE PURPOSE OF THIS TOPOGRAPHIC SURVEY IS TO PROVIDE AN EXISTING CONDITIONS BASE MAP FOR CIVIL ENGINEERING DESIGN OR PLANNING.
 6. BASIS OF ELEVATIONS: ELEVATION VALUES AND CONTOURS DEPICTED ARE BASED UPON PRIMARY BENCHMARK REFERENCED IN CONTROL NOTES HEREON.
 7. SOURCE OF CONTOURS: THE CONTOURS DEPICTED ARE GENERATED FROM DIRECT OBSERVATIONS IN THE FIELD AND ARE DEPICTED AT 1-FOOT INTERVALS.
 8. ELEVATION AND/OR CONTOURS ACCURACY: THIS SURVEY COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS.
 9. SOURCE OF DEPICTED UTILITY INFORMATION: UNDERGROUND UTILITIES DEPICTED ARE BASED UPON FIELD MEASUREMENTS OF ABOVE GROUND APPURTENANCES AND PAINT MARKS BY APS LOCATES INC...
 10. THAT PORTION OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 30, TOWNSHIP 34 NORTH, RANGE 4 EAST, W.M., DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT 160 FEET EAST OF THE SOUTHWEST CORNER OF BLOCK 22, "PLAT OF THE SOUTHERN ADDITION TO MT. VERNON", AS PER PLAT RECORDED IN VOLUME 2 OF PLATS, PAGE 110; THENCE EAST 176 FEET TO THE SOUTHWEST CORNER OF LOT 10 BLOCK 20 OF SAID PLAT; THENCE SOUTH ALONG THE EAST LINE OF VIRGINIA STREET PRODUCED, TO THE SOUTH LINE OF SAID SUBDIVISION; THEN WEST ALONG THE SOUTH LINE OF SAID SUBDIVISION TO A POINT SOUTH OF THE POINT OF BEGINNING; THENCE NORTH TO THE POINT OF BEGINNING.

LEGAL DESCRIPTION:
 PARCEL A:
 TAX PARCEL NO. P54349
 FROM: AFN 332393
 PARCEL B:
 TAX PARCEL NO. P29183
 FROM: AFN 332393
 PARCEL C:
 TAX PARCEL NO. 29184
 PORTION OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 30, TOWNSHIP 34 NORTH, RANGE 4 EAST W.M., DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTHWEST CORNER OF VACATED LOT 11, BLOCK 20, "PLAT OF THE SOUTHERN ADDITION TO MT. VERNON", ACCORDING TO THE RECORDED PLAT THEREOF IN THE OFFICE OF THE AUDITOR OF SKAGIT COUNTY, WASHINGTON, IN VOLUME 2 OF PLATS, PAGE 110;
 THENCE SOUTH 1°52'01" WEST A DISTANCE OF 233.87 FEET ALONG THE EAST LINE OF THE ALLEY IN BLOCK 20, PRODUCED SOUTH;
 THENCE NORTH 38°17'00" WEST A DISTANCE OF 17.20 FEET;
 THENCE NORTH 1°45'59" EAST A DISTANCE OF 210.73 FEET MORE OR LESS TO THE SOUTH LINE OF BLOCK 20 OF SAID PLAT;
 THENCE SOUTH 89°06'37" EAST ALONG SAID SOUTH LINE 11.46 FEET TO THE POINT OF BEGINNING.
 PARCEL D:
 TAX PARCEL NO. P54355
 LOTS 11 & 12, BLOCK 21, "PLAT OF THE SOUTHERN ADDITION TO MT. VERNON" AS PER PLAT RECORDED IN VOLUME 2 OF PLATS, PAGE 110.
 SITUATE IN SKAGIT COUNTY, WASHINGTON.

SURVEYOR'S NOTES: (SEMRAU)
 1. THE DESCRIPTIONS FOR THIS SURVEY IS FROM STATUTORY QUASI CLAIM DEED AND STATUTORY WARRANTY DEED RECORDED UNDER AUDITOR'S FILE NOS. 332392 AND 539341, RECORDS OF SKAGIT COUNTY, WASHINGTON, PROVIDED IN SUBDIVISION GUARANTEE ORDER NUMBER 213910-LT PREPARED BY LAND TITLE AND ESCROW COMPANY AND FIRST AMERICAN TITLE INSURANCE COMPANY.
 2. BASIS OF BEARING: WASHINGTON PLANE COORDINATE SYSTEM, NORTH ZONE NO. 4601, NAD 83/2009, FROM REAL TIME KINEMATIC GPS OBSERVATIONS ON AUGUST 31, 2020. EXISTING MONUMENTS FOUND IN HAZEL STREET AT THE INTERSECTIONS OF VIRGINIA STREET AND CLEVELAND STREET, BEARING: S 89°06'17" E.
 3. ALL DISTANCES ARE GROUND AND SHOWN IN FEET.
 4. INSTRUMENTATION: LEICA M550 THEODOLITE DISTANCE METER.
 5. SURVEY PROCEDURE: STANDARD FIELD TRAVERSE.
 6. THIS SURVEY MAY SHOW OCCUPANCY INDICATORS AS PER W.A.C. CHAPTER 332.130. LINES OF OCCUPATION MAY INDICATE AREAS FOR POTENTIAL CLAIMS OF UNWRITTEN OWNERSHIP. THIS BOUNDARY SURVEY HAS ONLY SHOWN THE RELATIONSHIP OF LINES OF OCCUPATION TO THE DEEDED LINES OF RECORD. NO RESOLUTION OF OWNERSHIP BASED ON UNWRITTEN RIGHTS HAS BEEN MADE OR IMPLIED BY THIS SURVEY.
 7. EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS SURVEY MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ALL OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, BUILDING SETBACKS LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING OR OTHER LAND-USE REGULATIONS AND ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.



BY:	
DESCRIPTION:	
REV:	DATE:

SKAGIT COUNTY PARKS & RECREATION
 1730 CONTINENTAL PLACE
 MOUNT VERNON, WA 98273
 CALL BEFORE YOU DIG
 FOR BURIED UTILITY LOCATIONS
 1-800-424-5655

SKAGIT COUNTY FAIRGROUNDS RESTROOM REPLACEMENT
 VIRGINIA STREET & 2700 MARTIN RD
 MOUNT VERNON, WA 98273
 DRAWN BY: MPM
 CHECKED BY: MDB
 DESIGNED BY: MPM

EXISTING CONDITIONS

CITY OF MOUNT VERNON
FILL & GRADE PERMIT
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 Signed: [Signature]
 Alan Danforth, Engineering Manager
 04/07/2026

JOB #: 23057
 DATE: 04/06/2026
 SHEET: C2

EROSION CONTROL NOTES

1. A COPY OF THE APPROVED TESC PLAN SHALL BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
2. APPROVAL OF THIS TEMPORARY EROSION & SEDIMENTATION CONTROL (TESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT STRUCTURES, DRIVEWAYS OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
3. THE IMPLEMENTATION OF THIS TESC PLAN AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADING OF THESE TESC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.
4. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING CONSTRUCTION, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE CONSTRUCTION.
5. TESC FACILITIES SHOWN ON THIS PLAN SHALL BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, UNLESS REVISED BY A CERTIFIED EROSION AND SEDIMENT CONTROL LEAD. TESC FACILITIES SHALL BE INSTALLED IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS.
6. THE TESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE TESC FACILITIES SHALL BE UPGRADED (E.G., ADDITIONAL SUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.) AS NEEDED FOR UNEXPECTED STORM EVENTS.
7. THE TESC FACILITIES SHALL BE INSPECTED DAILY BY THE CESCL AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTION.
8. ANY AREA NEEDING TESC MEASURES, NOT REQUIRING IMMEDIATE ATTENTION, SHALL BE ADDRESSED WITHIN FIFTEEN (15) DAYS.
9. THE TESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 24 HOURS FOLLOWING A STORM EVENT THAT PRODUCES RUNOFF FROM THE SITE.
10. WASH PADS MAY BE NECESSARY TO ENSURE PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
11. MULCHING OF ANY TYPE SHALL BE INSTALLED PER THE RATES AND STANDARDS PRESENTED IN VOL. II, TABLE 4.1.8 OF THE STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON, 2014 EDITION BY DEPARTMENT OF ECOLOGY.
12. ALL WORK AND MATERIAL SHALL BE IN ACCORDANCE WITH WASHINGTON STATE DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
13. EROSION & SEDIMENTATION CONTROL FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS ON THIS PLAN. LOCATIONS MAY BE MOVED TO SUIT FIELD CONDITIONS, SUBJECT TO APPROVAL BY THE CONTRACTORS CESCL OR ENGINEER OF RECORD.
14. COVER ALL DIRT/TOPSOIL PILES WITH PLASTIC SHEETING (BMP C123) DURING CONSTRUCTION WHEN NOT IN USE.
15. NETS AND/OR EROSION CONTROL BLANKETS (BMP C122) MAY BE USED IN LIEU OF TEMPORARY MULCHING.
16. CONSTRUCTION SCHEDULE- PENDING APPROVAL OF PLANS FROM JURISDICTIONS.
17. ADDITIONAL BMPs SHALL BE USED OR REQUIRED AS CONDITIONS WARRANT. BMPs SHALL BE INSTALLED PER RECOMMENDATIONS IN THE DOE STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON, CURRENT EDITION.

CONSTRUCTION SCHEDULING NOTE

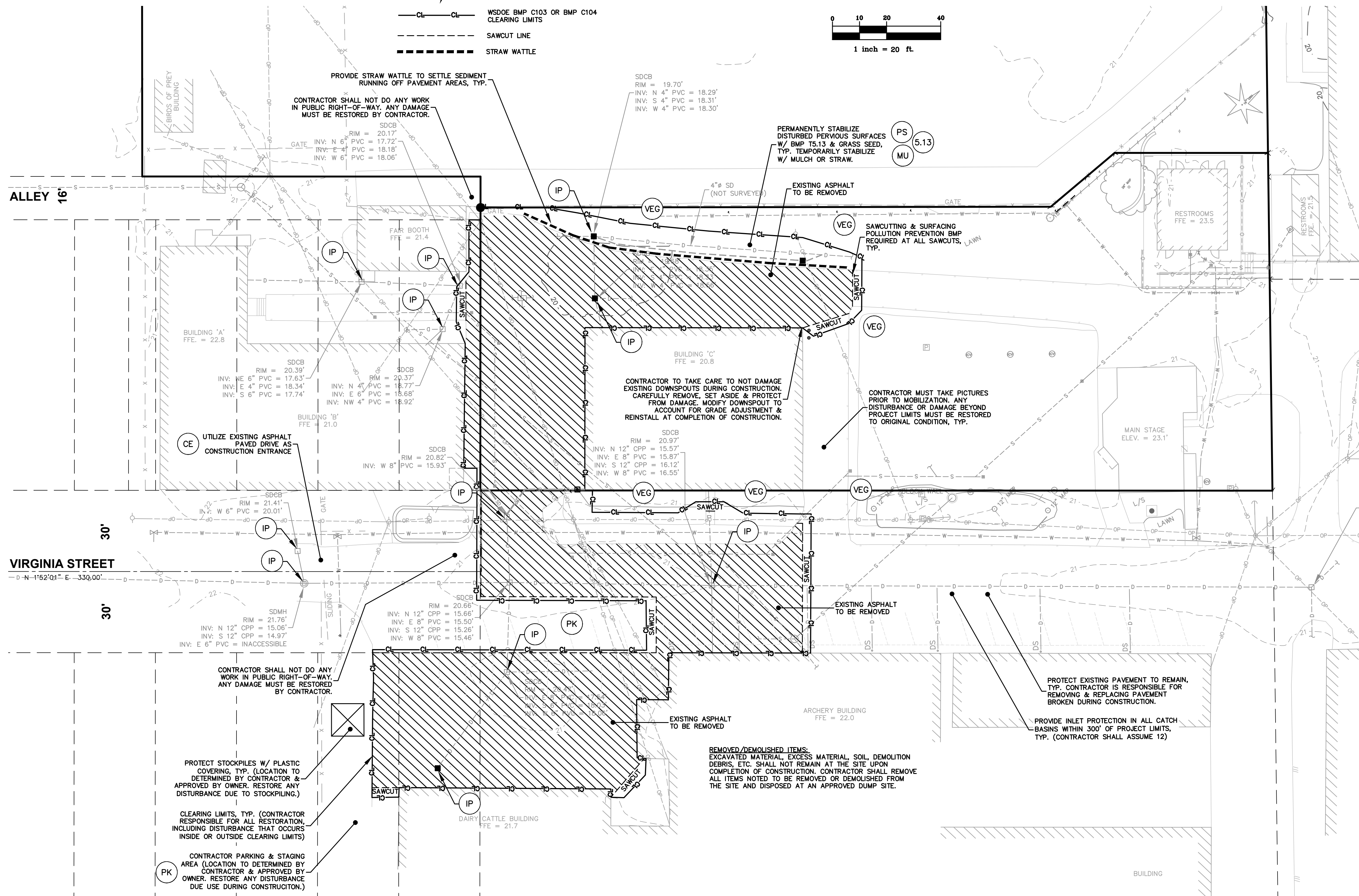
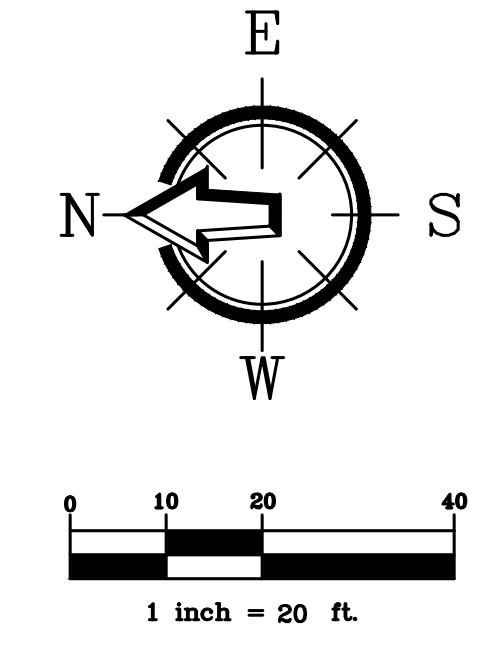
1. CONTRACTOR SHALL MONITOR WEATHER CONDITIONS AND FORECASTS DURING CONSTRUCTION. THE AMOUNT OF SOIL THAT MAY BE EXPOSED AT ANY TIME DEPENDS ON THE CONTRACTOR'S AVAILABLE CREW, MATERIALS, AND EQUIPMENT. CONTRACTOR SHALL SCHEDULE WORK SO THAT ALL EXPOSED SOIL (INCLUDING TRENCHES AND STOCKPILES) CAN BE COMPLETELY COVERED AND STABILIZED PRIOR TO ANY SIGNIFICANT RAINFALL EVENT ON SITE.
2. THIS TEMPORARY EROSION AND SEDIMENT CONTROL PLAN IS THE CONSIDERED THE MINIMUM TO SUCCESSFULLY MAINTAIN THE SITE DURING IDEAL CONDITIONS. IT IS THE CONTRACTOR AND CESCL'S RESPONSIBILITY TO AMEND THIS PLAN AS NECESSARY TO ENSURE COMPLIANCE WITH COUNTY AND STATE REQUIREMENTS. THIS INCLUDES, BUT IT NOT LIMITED TO, ADDITION OF SETTLING PONDS, BAKER TANKS, ETC.

TESC CONTRACTOR RESPONSIBILITY

1. TEMPORARY EROSION CONTROL BMPs SHOWN IN THESE PLANS ARE THE MINIMUM NECESSARY FOR PERMIT APPROVALS. ADDITIONAL BMPs MAY BE REQUIRED DURING THE COURSE OF CONSTRUCTION. NO ADDITIONAL COMPENSATION WILL BE PROVIDED FOR ADDITIONAL BMPs OR BMP MAINTENANCE THAT MAY BE REQUIRED DURING CONSTRUCTION.
2. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS IN THE CITY PERMIT. NO ADDITIONAL COMPENSATION WILL BE MADE FOR BMP MAINTENANCE OR REPAIRS THAT RESULT FROM COMPLIANCE WITH THE PERMITS. LIKEWISE, ANY ADDITIONAL BMPs THAT MAY BE REQUIRED FOR COMPLIANCE DURING CONSTRUCTION SHALL BE IMPLEMENTED AT THE CONTRACTOR'S EXPENSE.

TESC LEGEND

- (VEG) WSDOE BMP C101 PRESERVING NATURAL VEGETATION
- (CE) WSDOE BMP C105 STABILIZED CONSTRUCTION EXIT
- (PK) WSDOE BMP C107 PARKING AREA STABILIZATION
- (PS) WSDOE BMP C120 TEMPORARY AND PERMANENT SEEDING
- (MU) WSDOE BMP C121 MULCHING
- (PC) WSDOE BMP C123 PLASTIC COVERING
- (5,13) WSDOE BMP T5.13 SOIL AMENDMENT
- (IP) WSDOE BMP C220 STORM DRAIN INLET PROTECTION
- CL-CL WSDOE BMP C103 OR BMP C104 CLEARING LIMITS
- SAWCUT LINE
- STRAW WATTLE



City of MOUNT VERNON FILL & GRADE PERMIT

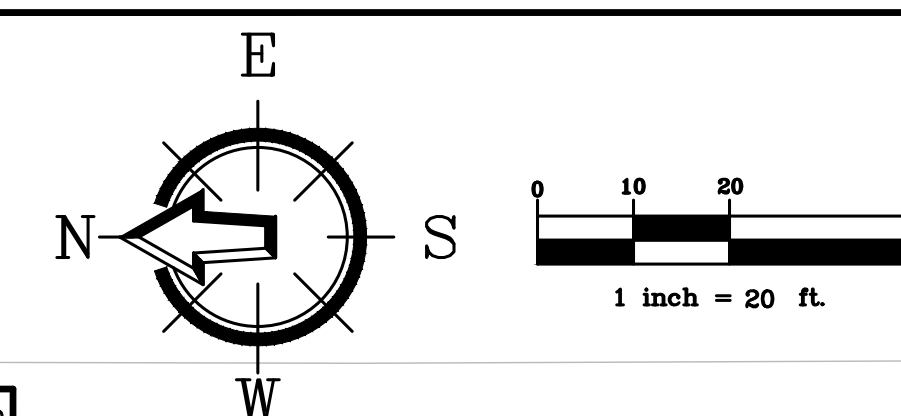
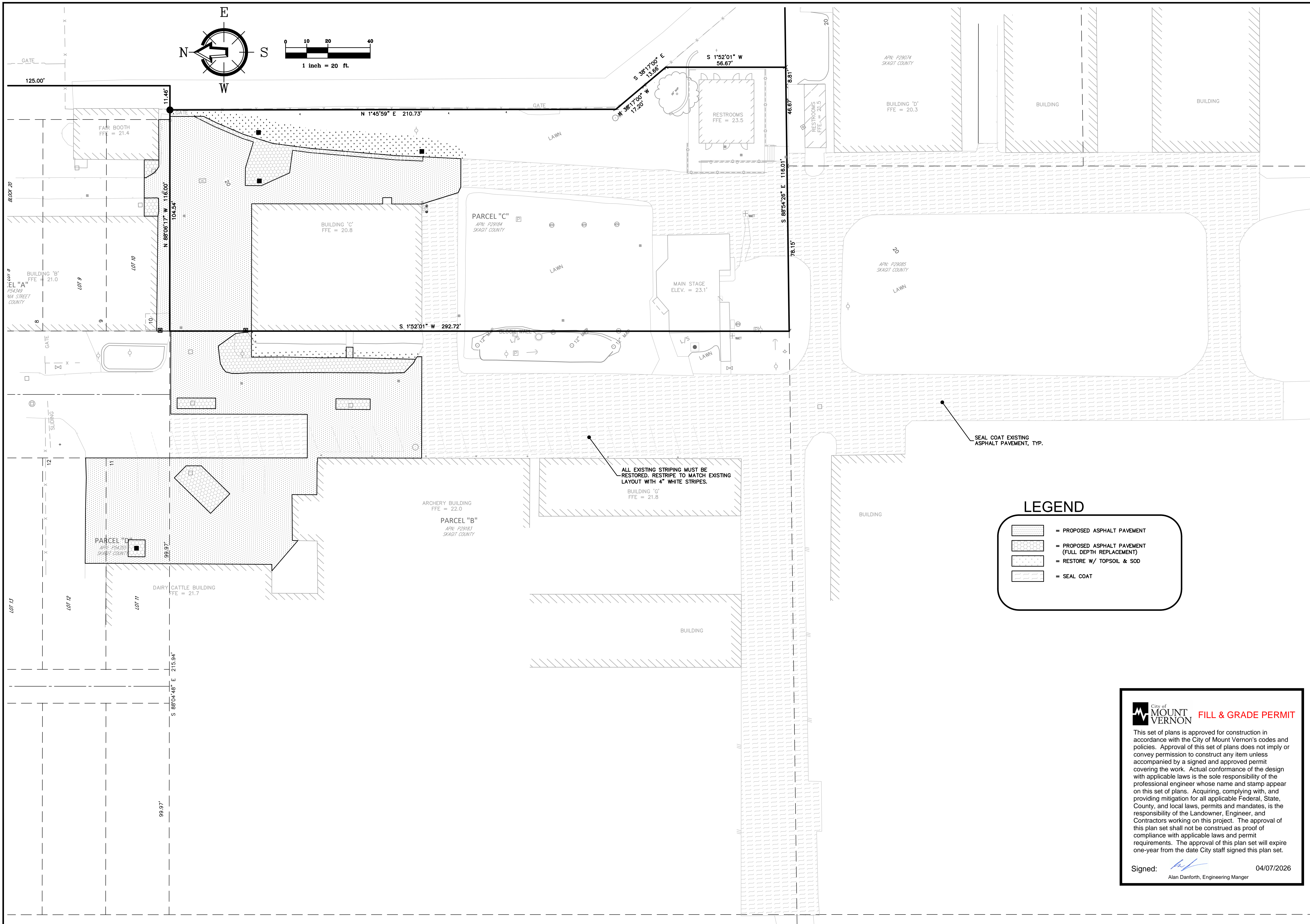
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Signed: *Alan Danforth* 04/07/2026
Alan Danforth, Engineering Manager



BY:	
DESCRIPTION:	
DATE:	
REV:	
CLIENT:	SKAGIT COUNTY PARKS & RECREATION 1730 CONTINENTAL PLACE MOUNT VERNON, WA 98273 CALL BEFORE YOU DIG FOR BURIED UTILITY LOCATIONS 1-800-424-5655
PROJECT LOCATION:	SKAGIT COUNTY FAIRGROUNDS RESTROOM REPLACEMENT VIRGINIA STREET & 2700 MARTIN RD MOUNT VERNON, WA 98273
DRAWN BY:	MPM
CHECKED BY:	MOB
DESIGNED BY:	MPM
SHEET CONTENTS:	DEMOLITION & EROSION CONTROL PLAN
JOB #:	23057
DATE:	04/06/2026
SHEET:	C3





LEGEND

- PROPOSED ASPHALT PAVEMENT
- PROPOSED ASPHALT PAVEMENT (FULL DEPTH REPLACEMENT)
- RESTORE W/ TOPSOIL & SOD
- SEAL COAT



2500 Elm Street, Suite 1
 Bellingham, WA 98225
FREELAND & ASSOCIATES
 t: 360.650.1408
 f: 360.650.1401

REV.	DATE	DESCRIPTION

CLIENT:
SKAGIT COUNTY PARKS & RECREATION
 1730 CONTINENTAL PLACE
 MOUNT VERNON, WA 98273
CALL BEFORE YOU DIG FOR BURIED UTILITY LOCATIONS
 1-800-424-5655

PROJECT LOCATION:
SKAGIT COUNTY FAIRGROUNDS RESTROOM REPLACEMENT
 VIRGINIA STREET & 2700 MARTIN RD
 MOUNT VERNON, WA 98273

DRAWING #: 25089SP2.DWG
DESIGNED BY: MPM
DRAWN BY: MPM
CHECKED BY: MDB

SHEET CONTENTS:
SITE PLAN

City of MOUNT VERNON **FILL & GRADE PERMIT**

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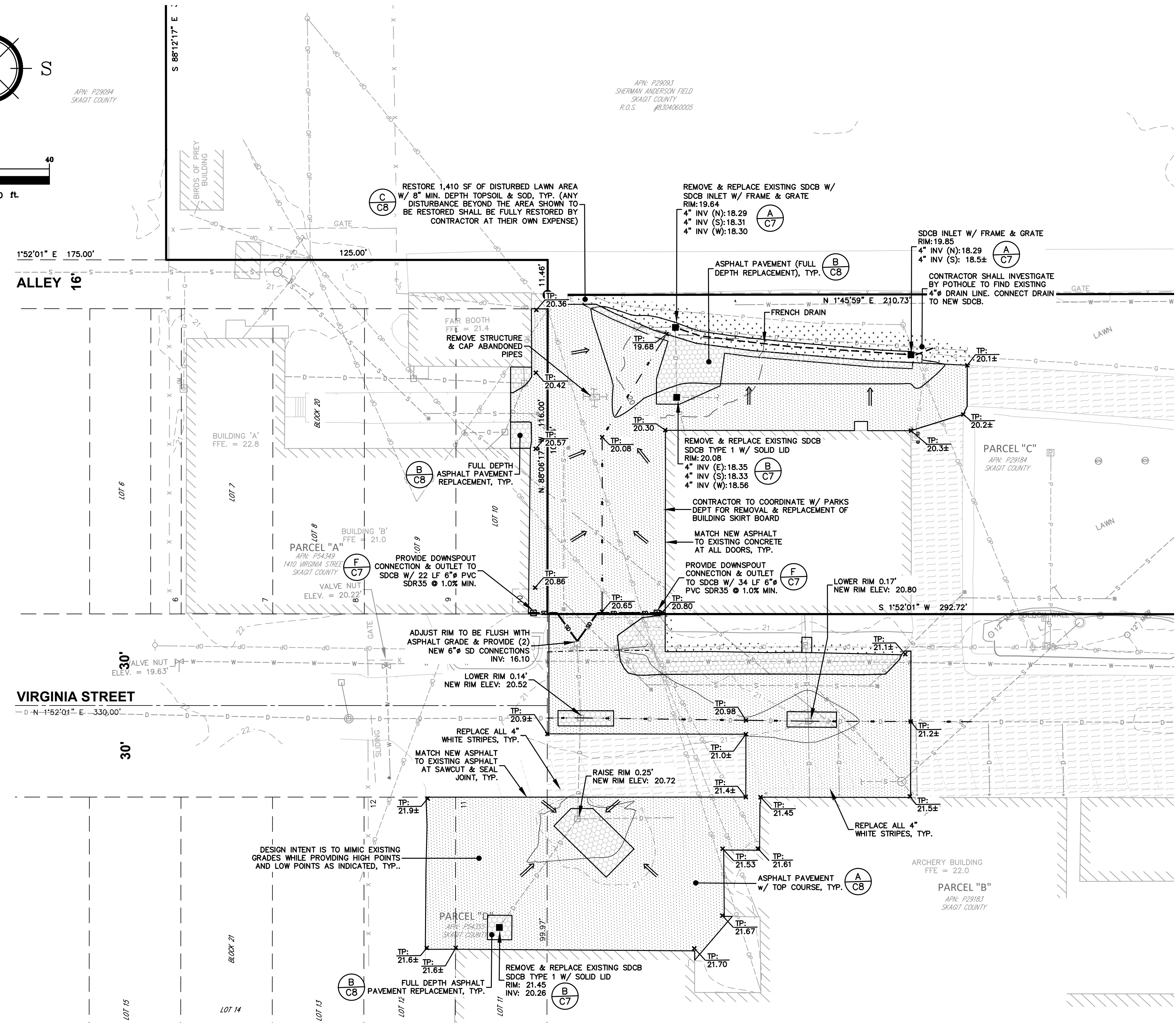
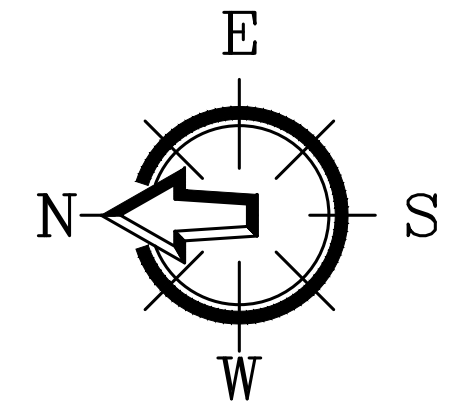
Signed: 04/07/2026
 Alan Danforth, Engineering Manager



JOB #: 23057
DATE: 04/06/2026
SHEET: C4



2500 Elm Street, Suite 1
 Bellingham, WA 98225
FREELAND & ASSOCIATES
 t: 360.650.1408
 f: 360.650.1401



City of MOUNT VERNON FILL & GRADE PERMIT

This set of plans is approved for construction in accordance with the City of Mount Vernon's codes and policies. Approval of this set of plans does not imply or convey permission to construct any item unless accompanied by a signed and approved permit covering the work. Actual conformance of the design with applicable laws is the sole responsibility of the professional engineer whose name and stamp appear on this set of plans. Acquiring, complying with, and providing mitigation for all applicable Federal, State, County, and local laws, permits and mandates, is the responsibility of the Landowner, Engineer, and Contractors working on this project. The approval of this plan set shall not be construed as proof of compliance with applicable laws and permit requirements. The approval of this plan set will expire one-year from the date City staff signed this plan set.

Signed: *[Signature]* 04/07/2026
 Alan Danforth, Engineering Manager

REV.	DATE	DESCRIPTION

CLIENT:
 SKAGIT COUNTY PARKS & RECREATION
 1730 CONTINENTAL PLACE
 MOUNT VERNON, WA 98273

CALL BEFORE YOU DIG FOR BURIED UTILITY LOCATIONS
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PROJECT LOCATION:
 SKAGIT COUNTY FAIRGROUNDS RESTROOM REPLACEMENT
 VIRGINIA STREET & 2700 MARTIN RD
 MOUNT VERNON, WA 98273

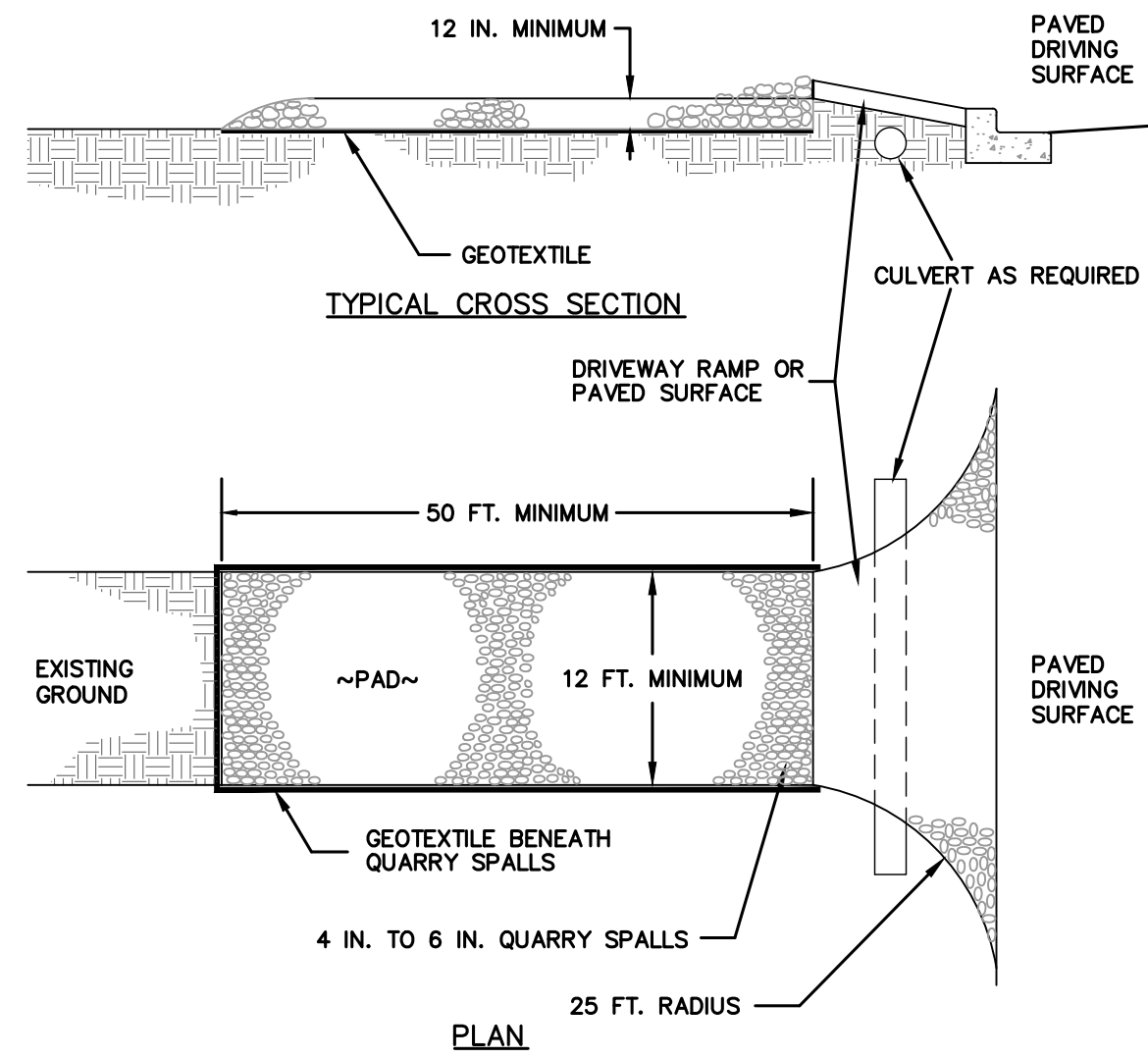
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DESIGNED BY: MPM
DRAWN BY: MPM
CHECKED BY: MDB

SHEET CONTENTS:
 PAVING & DRAINAGE PLAN



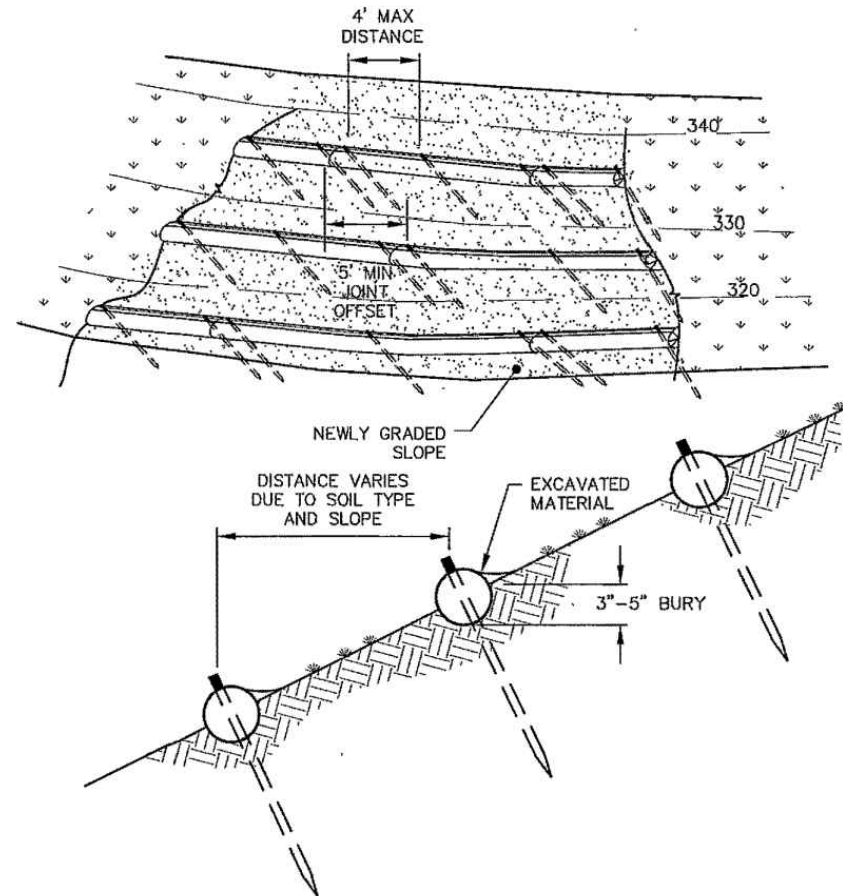
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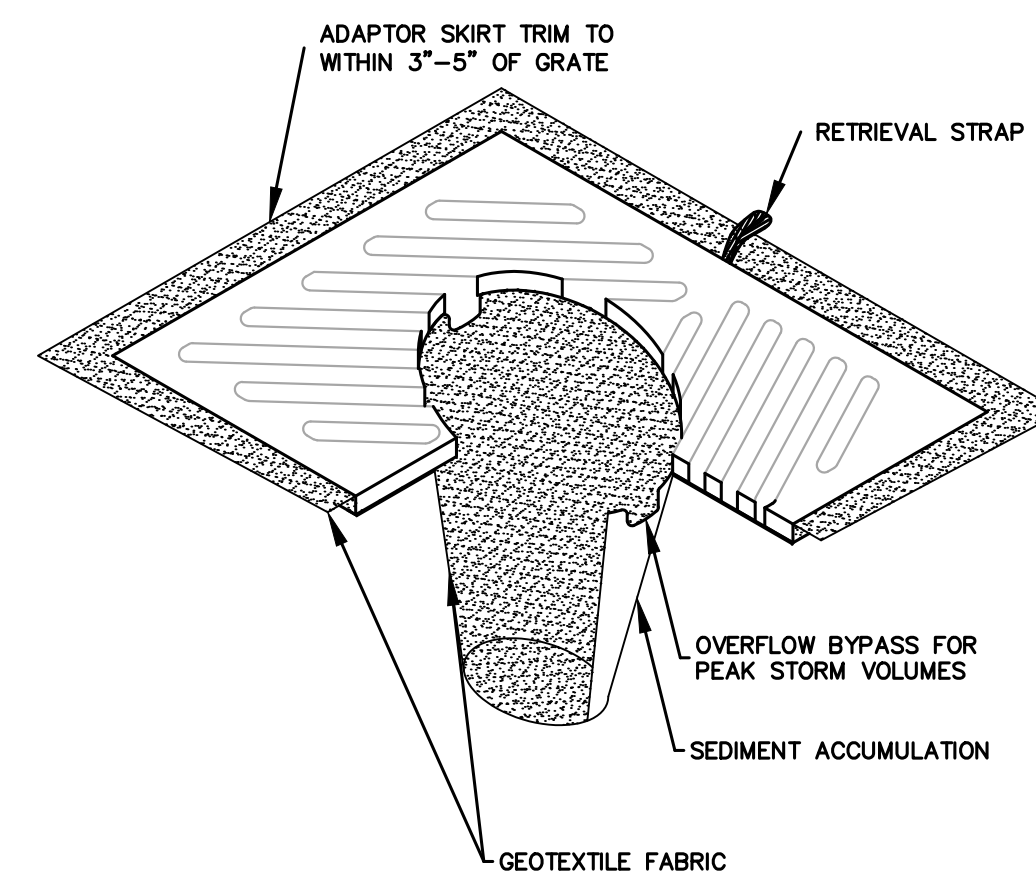
- NOTES:**
- PAD SHALL BE REMOVED AND REPLACED WHEN SOIL IS EVIDENT ON THE SURFACE OF THE PAD OR AS DIRECTED BY WHATCOM COUNTY.
 - PAD THICKNESS SHALL BE INCREASED IF SOIL CONDITIONS DICTATE OR PER THE DIRECTION OF ENGINEER OF RECORD OR THE CERTIFIED EROSION & SEDIMENTATION CONTROL LEAD (CESCL).
 - MINIMUM DIMENSIONS MAY BE MODIFIED AS REQUIRED BY SITE CONDITIONS UPON APPROVAL OF WHATCOM COUNTY.

A nts **TEMP. CONSTRUCTION ENTRANCE**



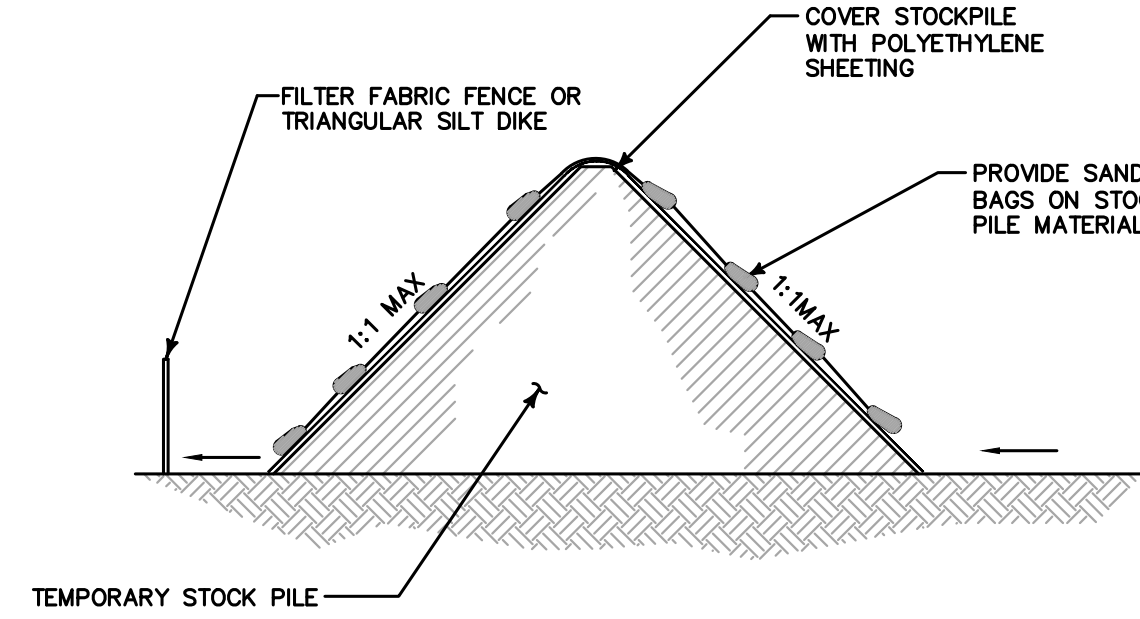
- NOTES:**
- JOINTS MUST BE OFFSET BY NO LESS THAN FIVE FEET.
 - ROLLS SHALL BE ALIGNED PARALLEL TO ELEVATION CONTOURS.
 - HYDROSEED OR MULCH SLOPE FOR ADDITIONAL EROSION CONTROL.

B nts **STRAW WATTLE**



- NOTES:**
- INSERT SHALL BE INSTALLED PRIOR TO CLEARING AND GRADING ACTIVITY, OR UPON PLACEMENT OF A NEW CATCH BASIN.
 - SEDIMENT SHALL BE REMOVED FROM THE UNIT WHEN IT BECOMES HALF FULL.
 - SEDIMENT REMOVAL SHALL BE ACCOMPLISHED BY REMOVING THE INSERT, EMPTYING, AND RE-INSERTING IT INTO THE CATCH BASIN.

C nts **STORM DRAIN INLET PROTECTION**



NOTES:
COMPACT STOCK PILE MATERIAL PER GEOTECHNICAL RECOMMENDATIONS

D nts **STOCKPILE PROTECTION**

APPROVAL OF THIS EROSION AND SEDIMENT CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).

- PRIOR TO COMMENCING CONSTRUCTION, ALL CRITICAL AREAS, INCLUDING WETLAND BUFFERS, STREAM BUFFER, LANDFILL AREAS, AND CONDITIONS AS DETERMINED BY THE CITY INSPECTOR SHALL BE CONTINUOUSLY DEMARCATED IN THE FIELD USING FLAGGING TAPE OR FENCING, ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF MOUNT VERNON STANDARDS AND SPECIFICATIONS.
- EROSION CONTROL METHODS AND MATERIALS SHALL MEET REQUIREMENTS OF THE APWA/WASHINGTON STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION (CURRENT EDITION) AND REQUIREMENTS SET FORTH IN VOLUME II OF THE "STORMWATER MANAGEMENT MANUAL FOR THE PUGET SOUND BASIN (THE TECHNICAL MANUAL)", BY THE WASHINGTON STATE DEPARTMENT OF ECOLOGY, EDITION CURRENTLY ADOPTED BY THE CITY OF MOUNT VERNON. THE CONTRACTOR SHALL FOLLOW RECOMMENDATIONS MADE BY SUPPLIERS AND MANUFACTURERS OF MATERIALS AND EQUIPMENT USED.
- THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE INSTALLED AND IN OPERATION IN ADVANCE OF ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS. WHEREVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL.
- THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS. ADDITIONALLY, MORE ESC FACILITIES MAY BE REQUIRED TO ENSURE COMPLETE SILTATION CONTROL DURING THE COURSE OF CONSTRUCTION, IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY CONSTRUCTION ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES OVER AND ABOVE THE MINIMUM REQUIREMENTS AS MAY BE NEEDED.
- ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY.
- A CLEARING CONTROL FENCE SHALL BE INSTALLED AT THE DRIP LINE OF TREES TO BE SAVED WHEREVER THE TREE CANOPIES EXTEND INTO THE AREA TO BE CLEARED.
- OFF-SITE STREETS MUST BE KEPT CLEAN AT ALL TIMES. IF DIRT IS DEPOSITED ON THE PUBLIC STREET SYSTEM, THE STREET SHALL BE IMMEDIATELY CLEANED WITH POWER SWEEPER OR OTHER APPROVED EQUIPMENT. ALL ADJACENT OFF-SITE PROPERTIES AND DRAINAGE FACILITIES SHALL BE PROTECTED FROM DAMAGE. ALL VEHICLES SHALL LEAVE THE SITE BY WAY OF THE CONSTRUCTION ENTRANCE AND SHALL BE CLEANED OF ALL DIRT THAT WOULD BE DEPOSITED ON THE PUBLIC STREETS.
- ALL PROPERTIES ADJACENT TO THE PROJECT SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND RUNOFF. DO NOT FLUSH SEDIMENT OR CONCRETE BY-PRODUCTS OR CLEAN TRUCKS NEAR OR INTO THE STORM DRAINAGE OR SEWER SYSTEMS.
- THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADE OF THESE FACILITIES IS THE RESPONSIBILITY OF THE OWNER/APPLICANT/ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS COMPLETED.
- ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS.
- ANY AREA NEEDING ESC MEASURES NOT REQUIRING IMMEDIATE ATTENTION SHALL BE ADDRESSED WITHIN FIFTEEN (15) CALENDAR DAYS.
- THE ESC FACILITIES ON ACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH AND WITHIN FORTY-EIGHT HOURS FOLLOWING A STORM EVENT.
- AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- STABILIZED CONSTRUCTION ENTRANCES AND ROADS SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL OFF-SITE PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- PRIOR TO THE BEGINNING OF THE WET SEASON THE CONTRACTOR SHALL DETERMINE BMP MEASURES. ALL DISTURBED AREAS SHALL BE INSPECTED BY THE CONTRACTOR TO IDENTIFY WHICH AREAS SHALL BE STABILIZED IN PREPARATION FOR THE WINTER RAINS. DISTURBED AREAS SHALL BE STABILIZED WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON.

CONSTRUCTION SEQUENCE:

- ATTEND PRE-CONSTRUCTION MEETING.
- FLAG OR FENCE CLEARING LIMITS.
- POST SIGN WITH NAME AND PHONE NUMBER OF ESC SUPERVISOR.
- INSTALL CATCH BASIN PROTECTION.
- INSTALL PERIMETER PROTECTION (STRAW WATTLES).
- CLEAR/GRADE & CONSTRUCT DRAINAGE FACILITIES.
- MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH DOE SWMM STANDARDS.
- RELOCATE SURFACE WATER CONTROLS AND EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH MOUNT VERNON STANDARDS.
- COVER ALL AREAS THAT WILL BE UNWORKED FOR MORE THAN 7 DAYS OR 2 DAYS IN THE WET SEASON WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING OR EQUIVALENT.
- STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN 7 DAYS.
- SEED OR SOD ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS. SOD MUST BE USED FOR PERMANENT STABILIZATION.
- UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BMP'S REMOVED.

SWPPP ELEMENT 1: MARK CLEARING LIMITS:
THE PROJECT SITE IS CONTAINED WITHIN A DEVELOPED COMPLEX. LIMITS OF DISTURBANCE ARE MARKED AS CLEARING LIMITS ON THE PLANS. EXISTING VEGETATION AND GRASS SHALL BE MAINTAINED IN AN UNDISTURBED STATE TO THE MAXIMUM EXTENT POSSIBLE. THERE ARE NO EXISTING TREES TO BE RETAINED OR REMOVED WITHIN THE PROJECT LIMITS. MARK LIMITS OF DISTURBANCE WITH HIGH VISIBILITY ORANGE SAFETY BARRIER FENCING.

SWPPP ELEMENT 2: ESTABLISH CONSTRUCTION ACCESS:
A STABILIZED CONSTRUCTION ENTRANCE WILL BE INSTALLED AT LOCATIONS IDENTIFIED ON THE PLAN FOR ACCESS. ALL CONSTRUCTION TRAFFIC, SUCH AS PERSONAL VEHICLES, WORK TRUCKS, ETC. THAT WILL ROUTINELY LEAVE THE SITE SHALL REMAIN ON EXISTING PAVED SURFACES AS MUCH AS POSSIBLE. CONSTRUCTION PERSONNEL, VEHICLES, AND EQUIPMENT SHALL NOT BLOCK OR OBSTRUCT ACCESS IN THE PARKING LOT. CONSTRUCTION TRAFFIC MAY ONLY LEAVE THE EXISTING STABILIZED SURFACES IF NECESSARY FOR EQUIPMENT OR MATERIAL TRANSFERS LONG AS ALL DISTURBANCE IS REPAIRED TO ORIGINAL CONDITION. PAVED ROADS WILL BE CLEANED AT THE END OF EACH DAY AND SEDIMENT TRANSPORT TO ROADS WILL BE SWEEPED AND DISPOSED OF AT A CONTROLLED DISPOSAL AREA. BMP'S CONSIDERED FOR THIS ELEMENT INCLUDE: HOUSEKEEPING/MAINTENANCE BMP: DAILY STREET SWEEPING AND BMP C105: STABILIZED CONSTRUCTION ENTRANCE.

SWPPP ELEMENT 3: CONTROL FLOW RATES:
THE PROPOSED PROJECT IS CONTAINED WITHIN A COMPLETELY DEVELOPED COMPLEX. CONSTRUCTION WILL BE LOCATED WITHIN AREA THAT IS ALREADY PAVED. PEAK FLOWS DURING CONSTRUCTION ARE NOT EXPECTED TO EXCEED EXISTING FLOW RATES. THIS PROJECT DOES NOT REQUIRE STORMWATER DETENTION. NO ADDITIONAL DOWNSCREEN ANALYSIS IS NECESSARY SINCE THE PROJECT WILL REPLACE AN EXISTING DEVELOPMENT. PROPOSED FACILITIES WILL MIMIC EXISTING FLOWS FROM THE SITE. NO SEDIMENT LADEN WATER SHALL DISCHARGE TO THE DRAINAGE SYSTEM. NO STORMWATER INFILTRATION FACILITIES WILL BE INSTALLED AS A PART OF THIS PROJECT.

SWPPP ELEMENT 4: INSTALL SEDIMENT CONTROLS:
SEDIMENT CONTROLS WORK IN CONJUNCTION WITH BMP'S IN ELEMENT #5: SOIL STABILIZATION TO RETAIN SEDIMENT ON SITE TO THE MAXIMUM AMOUNT PRACTICABLE. THE DUFF LAYER, NATIVE TOPSOIL, AND NATURAL VEGETATION OR GRASSES ON SITE WILL BE RETAINED IN AN UNDISTURBED STATE TO THE MAXIMUM EXTENT PRACTICABLE. STRAW WATTLES WILL BE INSTALLED ALONG THE DOWNSTREAM END OF THE WORK LIMITS IF NECESSARY. ALSO, IF EXCAVATED MATERIAL OR FILL MATERIAL IS PLACED WITHIN THE PROJECT SITE SUCH THAT RUNOFF FROM THE MATERIAL WOULD FLOW OFF SITE, THEN SEDIMENT CONTROLS, SUCH AS TEMPORARY BERMS OR SILT FENCE, MUST BE INSTALLED DOWNHILL FROM THE NEWLY-GRADED MATERIAL. ANY TEMPORARY DRAINAGE CHANNELS THAT MAY BE REQUIRED DURING CONSTRUCTION WILL BE STABILIZED WITH LININGS AND CHECK DAMS. BMP'S CONSIDERED FOR THIS ELEMENT INCLUDE: BMP C231: BRUSH BARRIER, BMP C232: GRAVEL FILTER BERM, BMP C233: SILT FENCE AND BMP C235: STRAW WATTLES.

SWPPP ELEMENT 5: STABILIZE SOILS:
EXISTING SOIL AND GROUND COVER SHALL BE RETAINED AND SHALL REMAIN UNDISTURBED TO THE MAXIMUM EXTENT PRACTICABLE TO MINIMIZE THE EROSION POTENTIAL ON SITE. ALL EXPOSED AND UNWORKED SOIL SHALL BE STABILIZED BY APPLICATION OF BMP'S THAT PROTECT SOIL FROM THE EROSIIVE FORCES OF RAINFALL IMPACTS, FLOWING WATER, AND WIND EROSION. SOIL PILES SHOULD BE COVERED WITH PLASTIC OR ROLLED EROSION CONTROL PRODUCTS (RECP) WHEN NOT IN IMMEDIATE USE.

CONSTRUCTION EROSION CONTROL BMP'S SHALL BE INSTALLED PRIOR TO SOIL-DISTURBING ACTIVITIES TO THE MAXIMUM EXTENT PRACTICABLE. BMP'S THAT CANNOT BE INSTALLED PRIOR TO GRADING OR SOIL DISTURBANCE SHALL BE INSTALLED AND MADE OPERABLE IMMEDIATELY AFTER INSTALLATION IS MADE POSSIBLE. DISTURBED SOILS WILL BE PERMANENTLY STABILIZED ON SITE WITH PAVEMENT OR WITH PERMANENT PLANTING AND SEEDING. ALL EXPOSED AND UNWORKED SOIL WILL BE TEMPORARILY STABILIZED WITH SEEDING, MULCH, STRAW, NETS AND BLANKETS, OR PLASTIC COVERING PER DOE STANDARDS. NO SOIL WILL BE EXPOSED AND UNWORKED FOR MORE THAN SEVEN DAYS BETWEEN MAY 1 AND SEPTEMBER 30. NO SOIL WILL BE EXPOSED AND UNWORKED FOR MORE THAN TWO DAYS BETWEEN OCTOBER 1 AND APRIL 30. SOIL STOCKPILES MUST BE STABILIZED AND PROTECTED WITH SEDIMENT TRAPPING MEASURES. PLASTIC COVERING SHOULD BE INSTALLED ON ALL STOCKPILES THAT ARE NOT IN IMMEDIATE USE. STRAW WATTLES AND/OR SILT FENCE SHOULD ALSO BE INSTALLED AROUND THE PERIMETER OF SUCH STOCKPILES. AS RECOMMENDED IN ELEMENT 4, EXCAVATED SOIL MATERIAL SHOULD BE PLACED UPHILL FROM THE EXCAVATED AREAS. PROPOSED WORK IS LINEAR AND WILL BE UNDER THE CONTROL OF ONE GENERAL CONTRACTOR. THE CONTRACTOR SHALL ENSURE THAT APPROPRIATE CREWS AND MATERIALS ARE AVAILABLE ON SITE TO COMPLETELY STABILIZE THE SITE PRIOR TO FOUL WEATHER OR SITE CONDITIONS. BMP'S CONSIDERED FOR THIS ELEMENT INCLUDE: BMP C120: TEMPORARY AND PERMANENT SEEDING, BMP C121: MULCHING, BMP C122: NETS AND BLANKETS AND BMP C123: PLASTIC COVERING.

SWPPP ELEMENT 6: PROTECT SLOPES:
THE SITE IS FLAT WITH GENTLE GRADES ON SITE. NO SIGNIFICANT CUT OR FILL SLOPES ARE PROPOSED AS A PART OF THIS PROJECT.

SWPPP ELEMENT 7: PROTECT DRAIN INLETS:
ALL DRAINAGE INLETS MADE OPERABLE DURING CONSTRUCTION WILL BE PROTECTED SO THAT NO STORMWATER MAY ENTER THE CONVEYANCE SYSTEMS WITHOUT FILTRATION OR OTHER TREATMENT FOR SEDIMENT. IN ADDITION, EXISTING DRAINAGE INLETS NEAR THE PROJECT SITE WILL ALSO BE FITTED WITH TEMPORARY FILTER INSERTS OR OTHER APPLICABLE INLET PROTECTION. EXISTING INLETS THAT REQUIRE PROTECTION ARE IDENTIFIED ON THE CIVIL PLANS. ADDITIONAL INLET PROTECTIONS MAY BE REQUIRED IF SEDIMENT IS TRACKED ONTO PAVEMENT BEYOND THE CATCH BASINS THAT ARE IDENTIFIED ON THE PLANS. ALL APPROX ROADWAYS SHALL BE KEPT CLEAN AND ALL SEDIMENT AND STREET WASH WATER SHALL NOT BE ALLOWED TO ENTER STORM DRAINS WITHOUT PRIOR AND ADEQUATE TREATMENT UNLESS TREATMENT IS PROVIDED BEFORE THE STORM DRAIN DISCHARGES TO WATERS OF THE STATE. BMP'S CONSIDERED FOR THIS ELEMENT INCLUDE: BMP C220: STORM DRAIN INLET PROTECTION.

SWPPP ELEMENT 8: STABILIZE CHANNELS AND OUTLETS:
NO TEMPORARY OR PERMANENT CHANNELS ARE PROPOSED FOR THIS PROJECT. IF TEMPORARY CHANNELS BECOME NECESSARY DURING CONSTRUCTION, THEY SHALL BE DESIGNED AND BUILT WITH MINIMAL SLOPES (APPROXIMATELY 0.5%), SIDE SLOPES WILL BE LIMITED TO 2:1 AND WILL BE LINED WITH TOPSOIL AND GRASS. DURING CONSTRUCTION, THE SIDES OF THE SWALE SHOULD BE STABILIZED WITH ROLLED EROSION CONTROL PRODUCTS, PLASTIC, OR CLEAN GRAVEL.

SWPPP ELEMENT 9: CONTROL POLLUTANTS:
ALL POLLUTANTS, INCLUDING WASTE MATERIALS AND DEMOLITION DEBRIS, THAT OCCUR ON SITE SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT CONTAMINATE STORMWATER. DEMOLITION MATERIALS THAT WILL BE GROUND AND REUSED ON SITE SHALL BE COVERED AND ISOLATED FROM CONTACT WITH STORMWATER. COVER, CONTAINMENT, AND PROTECTION FROM VANDALISM SHALL BE PROVIDED FOR ALL CHEMICALS, LIQUID PRODUCTS, PETROLEUM PRODUCTS, AND NON-INERT WASTES PRESENT ON THE SITE. IF POSSIBLE, POTENTIAL STORMWATER POLLUTANTS SHOULD BE STORED INDOORS, IN LOCKABLE TRAILERS, OR IN SEALED SHIPPING CONTAINERS. MAINTENANCE AND REPAIR OF HEAVY EQUIPMENT AND VEHICLES INVOLVING OIL CHANGES, HYDRAULIC SYSTEM DRAIN DOWN, SOLVENT AND DE-GREASING CLEANING OPERATIONS, FUEL TANK DRAIN DOWN AND REMOVAL, AND OTHER ACTIVITIES WHICH MAY RESULT IN DISCHARGE OR SPILLAGE OF POLLUTANTS TO THE GROUND OR INTO STORMWATER RUNOFF MUST BE CONDUCTED USING SPILL PREVENTION MEASURES, SUCH AS DRIP PANS. CONTAMINATED SURFACES SHALL BE CLEANED IMMEDIATELY FOLLOWING ANY DISCHARGE OR SPILL INCIDENT. EMERGENCY REPAIRS MAY BE PERFORMED ON-SITE USING TEMPORARY PLASTIC PLACED BENEATH AND, IF RAINING, OVER THE VEHICLE. IF WHEEL WASHES OR TIRE BATHS ARE INSTALLED, WASTEWATER FROM THOSE BMP'S SHALL BE DISCHARGED TO A SEPARATE ON-SITE TREATMENT SYSTEM OR TO THE SANITARY SEWER. SPECIAL PERMISSION FROM THE CITY OF BLAINE MUST BE GRANTED PRIOR TO DISCHARGING STORMWATER RUNOFF TO THE SEWER. AGRICULTURAL CHEMICALS WILL NOT BE APPLIED AT THIS SITE. WASHOUT OF CONCRETE TRUCKS AND HAND TOOLS (E.G. SCREEDS, RAKES, SHOVELS, FLOATS, OR TROWELS) WILL ONLY BE ALLOWED WITHIN FORMED AREAS AWAITING INSTALLATION OF CONCRETE OR WITHIN A DESIGNATED WASHOUT AREA ON SITE. IF POSSIBLE, ANY UNUSED CONCRETE IN THE TRUCK SHOULD BE RETURNED TO THE BATCH PLANT FOR RECYCLING.

SWPPP ELEMENT 10: CONTROL DE-WATERING:
GROUNDWATER IS ASSUMED TO BE LOWER THAN THE PROPOSED UTILITIES. AS SUCH, NO DEWATERING IS ANTICIPATED AS A PART OF THIS PROJECT. IF DEWATERING DOES BECOME NECESSARY DURING CONSTRUCTION, THE CONTRACTOR SHALL PREPARE A DEWATERING PLAN IN ACCORDANCE WITH CITY STANDARDS AND DEPT. OF ECOLOGY REQUIREMENTS. AS A PART OF THE PLAN, ALL DEWATERING WATER SHALL BE DISCHARGED TO A CONTROLLED CONVEYANCE SYSTEM FOR TREATMENT. CLEAN, NON-TURBID DEWATERING WATER SHOULD BE ROUTED DIRECTLY TO TRIBUTARIES OR WATERS OF THE STATE. HIGHLY-TURBID DEWATERING WATER SHALL BE HANDLED SEPARATELY FROM STORMWATER AND MAY BE PUMPED TO VEGETATED AREAS ON SITE OR TRUCKED OFF SITE FOR TREATMENT AND DISPOSAL.

SWPPP ELEMENT 11: MAINTAIN BMP'S:
ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL BMP'S SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. ALL MAINTENANCE AND REPAIR SHALL BE CONDUCTED IN ACCORDANCE WITH BMP SPECIFICATIONS.

ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMP'S SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY BMP'S ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE REMOVED OR STABILIZED ON SITE. DISTURBED SOIL AREAS RESULTING FROM REMOVAL OF BMP'S OR VEGETATION SHALL BE PERMANENTLY STABILIZED.

E nts **STORMWATER POLLUTION PREVENTION PLAN**

SWPPP ELEMENT 12: MANAGE THE PROJECT:
PHASING OF CONSTRUCTION:
THIS PROJECT WILL BE BUILT IN ONE PHASE. TO THE EXTENT PRACTICABLE, SITE DISTURBANCE, CLEARING, AND CONSTRUCTION WILL BE SCHEDULED APPROPRIATELY TO MINIMIZE THE TIME THAT SOIL MAY BE EXPOSED. CLEARING AND GRADING ACTIVITIES WILL OCCUR AFTER THE APPLICABLE PERMITS HAVE BEEN OBTAINED. WHEN ESTABLISHING CLEARING AND GRADING AREAS, CONSIDERATION WILL BE GIVEN TO MINIMIZING REMOVAL OF EXISTING VEGETATION AND MINIMIZING DISTURBANCE AND COMPACTION OF NATIVE SOILS EXCEPT AS NEEDED FOR BUILDING PURPOSES.

SEASONAL WORK LIMITATIONS:
FROM OCTOBER 1 THROUGH APRIL 30, SOIL WILL NOT REMAIN EXPOSED AND UNWORKED FOR MORE THAN 2 DAYS. FROM MAY 1 THROUGH SEPTEMBER 30, SOIL WILL NOT REMAIN EXPOSED AND UNWORKED FOR MORE THAN 7 DAYS. IN ADDITION, WEATHER CONDITIONS SHALL BE CONTINUALLY MONITORED (INCLUDING BEFORE HOLIDAYS AND WEEKENDS) FOR PURPOSES OF PREPARING THE SITE FOR PREDICTED WEATHER CONDITIONS. BMP'S THAT ARE EFFECTIVE IN STABILIZING SOILS AND PROTECTING THEM FROM EXPOSURE TO RAIN AND WIND OR OTHER CLIMATIC CONDITIONS WILL BE IMPLEMENTED THROUGHOUT THE PROJECT. INSPECTION AND EVALUATION OF THE EFFECTIVENESS OF THE BMP'S WILL OCCUR ON A DAILY BASIS. IN THE EVENT OF A FORECASTED PRECIPITATION EVENT, THE CONTRACTOR SHALL EVALUATE EXISTING BMP'S ON SITE AND SHALL IMPLEMENT ADDITIONAL BMP'S IF THE EXISTING SITE CONDITIONS ARE INADEQUATE TO PREVENT RAINFALL FROM CONTACTING UNSTABILIZED SURFACES.

INSPECTION AND MONITORING:
AS PREVIOUSLY MENTIONED, ALL BMP'S WILL BE INSPECTED, MAINTAINED, AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. IN THE EVENT THAT INSPECTION AND/OR MONITORING REVEALS THAT THE BMP'S IDENTIFIED IN THIS CONSTRUCTION SWPPP ARE INADEQUATE DUE TO THE ACTUAL DISCHARGE OF OR POTENTIAL TO DISCHARGE A SIGNIFICANT AMOUNT OF ANY POLLUTANT, THIS SWPPP SHALL BE APPROPRIATELY MODIFIED IN A TIMELY MANNER. A CESCL IS NOT REQUIRED, BUT IS RECOMMENDED TO PERFORM EROSION CONTROL INSPECTIONS AND TO PROVIDE RECOMMENDATIONS FOR THIS PROJECT DURING CONSTRUCTION.

MAINTENANCE OF THE CONSTRUCTION SWPPP:
THE CONSTRUCTION SWPPP WILL BE RETAINED ON SITE AND WILL BE UPDATED ON A REGULAR BASIS. A LOG WILL BE ATTACHED TO THE CONSTRUCTION SWPPP TO FACILITATE REGULAR UPDATES. MODIFICATIONS TO THE CONSTRUCTION SWPPP WILL BE MADE WHENEVER THERE IS A SIGNIFICANT CHANGE IN THE DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE OF ANY BMP. IF THE CONTRACTOR DOES NOT IMPLEMENT BMP'S SPECIFIED ON THESE PLANS AND IF SITE CONDITIONS DO NOT REQUIRE THE BMP'S, THE CONTRACTOR SHALL PROVIDE WRITTEN JUSTIFICATION IN THE SWPPP FOR WHY THE BMP IS UNNECESSARY.

SWPPP ELEMENT 13: PROTECT LOW IMPACT DEVELOPMENT BMP'S:
LOW IMPACT DEVELOPMENT BMP'S TO BE PROTECTED DURING CONSTRUCTION INCLUDE SOIL QUALITY AND DEPTH: BMP TS.13. CONSTRUCTION TRAFFIC MUST KEEP OFF PROPOSED LAWN AREAS TO BE TREATED WITH SOIL AMENDMENTS.

CITY OF MOUNT VERNON
FILL & GRADE PERMIT

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Signed: *[Signature]* 04/07/2026
Alan Danforth, Engineering Manager

F nts **EROSION CONTROL NOTES**

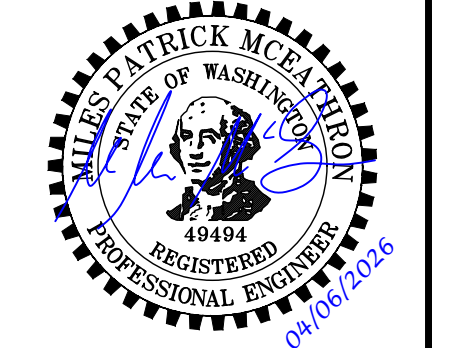


BY:	
REV:	
DESCRIPTION:	
DATE:	

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VIRGINIA STREET & 2700 MARTIN RD
MOUNT VERNON, WA 98273
DRAWN BY: MPM
CHECKED BY: MDS
DESIGNED BY: MPM

DETAILS



JOB #: 23057
DATE: 04/06/2026
SHEET: **C6**



2500 Elm Street, Suite 1
Bellevue, WA 98005
t: 360.650.1408
f: 360.650.1401

FREELAND & ASSOCIATES

BY:	
REV:	
DATE:	
DESCRIPTION:	

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VIRGINIA STREET & 2700 MARTIN RD
MOUNT VERNON, WA 98273

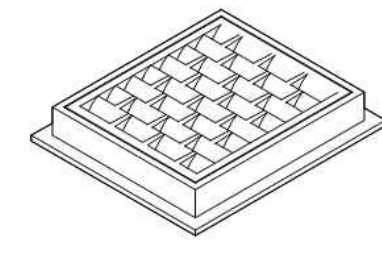
DRAWN BY: MPM
CHECKED BY: MDB

DETAILS

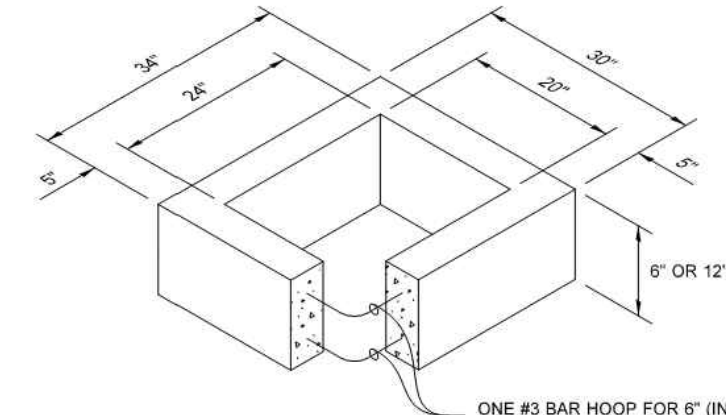


JOB #: 23057
DATE: 04/06/2026
SHEET: C7

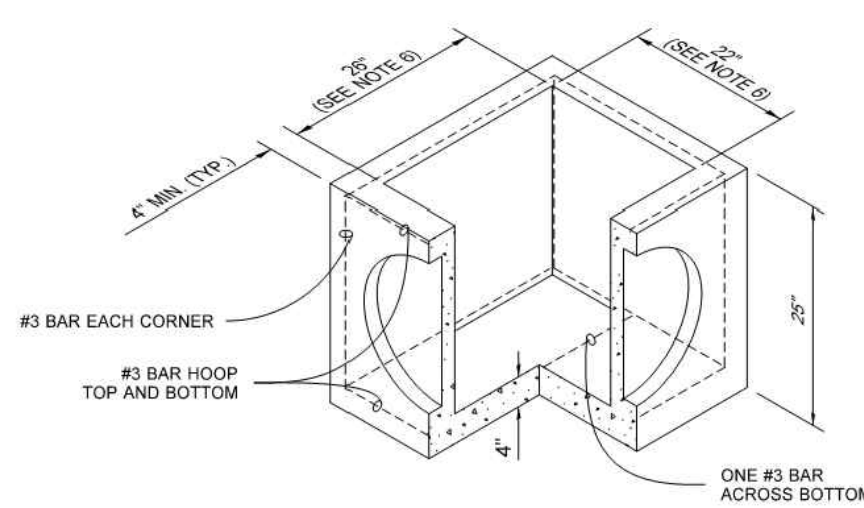
DRAWN BY: MARK SUIKA



FRAME AND VANED GRATE



RECTANGULAR ADJUSTMENT SECTION



PRECAST BASE SECTION

PIPE MATERIAL	MAXIMUM INSIDE DIAMETER (INCHES)
REINFORCED OR FLAIN CONCRETE	12"
ALL METAL PIPE	16"
CPSP # (STD. SPEC. SECT. 9-05.20)	12"
POLYPROPYLENE (STD. SPEC. SECT. 9-05.24)	12"
SOLID WALL PVC (STD. SPEC. SECT. 9-05.12(1))	16"
PROFILE WALL PVC (STD. SPEC. SECT. 9-05.12(2))	16"

* CORRUGATED POLYETHYLENE STORM SEWER PIPE

NOTES

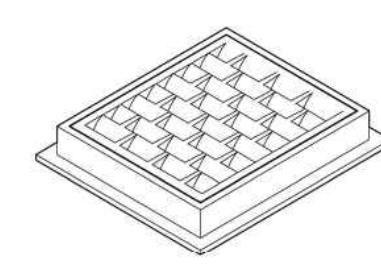
- As acceptable alternatives to the rebar shown in the PRECAST BASE SECTION, fibers (placed according to the Standard Specifications), or wire mesh having a minimum area of 0.12 square inches per foot shall be used with the minimum required rebar shown in the ALTERNATIVE PRECAST BASE SECTION. Wire mesh shall not be placed in the knockouts.
- The knockout diameter shall not be greater than 18" (in). Knockouts shall have a wall thickness of 2" (in) minimum to 2.5" (in) maximum. Provide a 1.5" (in) minimum gap between the knockout wall and the outside of the pipe. After the pipe is installed, fill the gap with joint mortar in accordance with Standard Specification Section 9-04.3.
- The maximum depth from the finished grade to the lowest pipe invert shall be 5' (ft).
- The frame and grate may be installed with the flange up or down. The frame may be cast into the adjustment section.
- The Precast Base Section may have a rounded floor, and the walls may be sloped at a rate of 1 : 24 or steeper.
- The opening shall be measured at the top of the precast base section.
- All pickup holes shall be grouted full after the inlet has been placed.



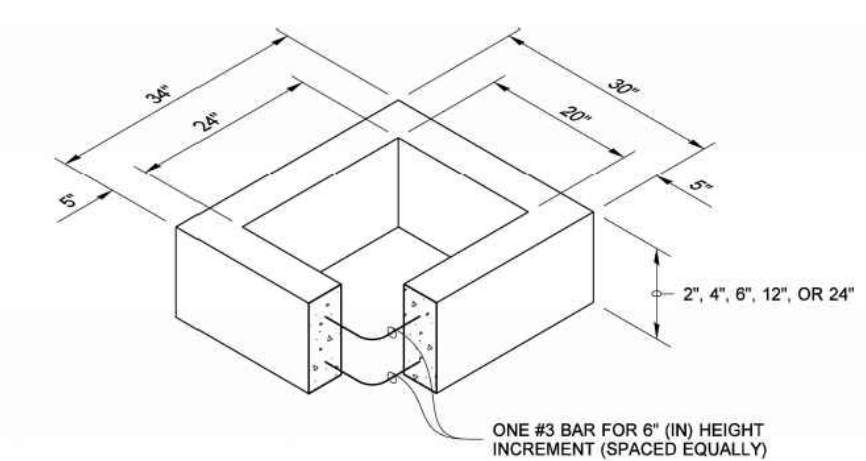
CONCRETE INLET
STANDARD PLAN B-25.60-02
SHEET 1 OF 1 SHEET
APPROVED FOR PUBLICATION
DATE: 04/27/2023 11:41 AM
STATE DESIGN ENGINEER
Washington State Department of Transportation

A CONCRETE INLET

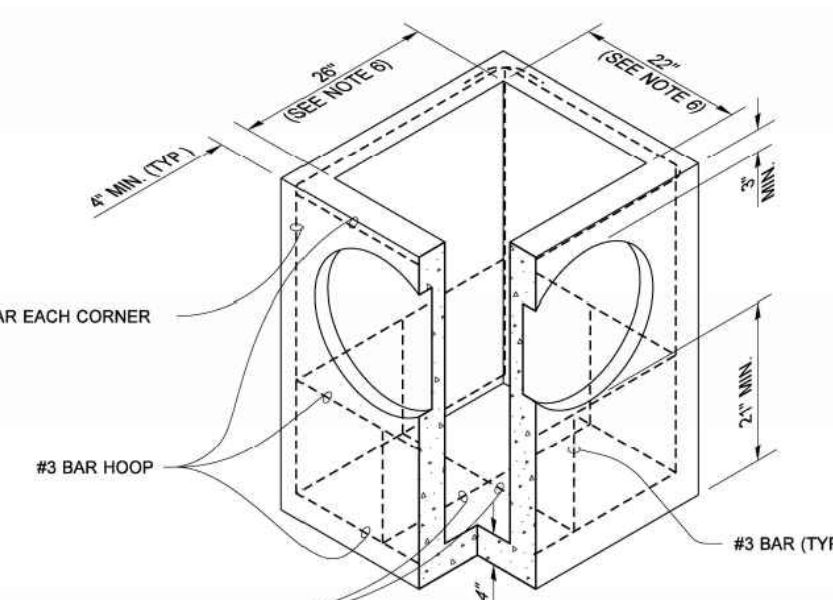
DRAWN BY: FERN LIDDELL



FRAME AND VANED GRATE



RECTANGULAR ADJUSTMENT SECTION



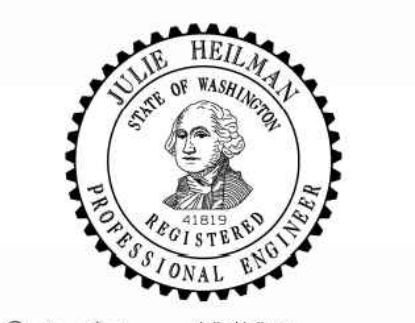
PRECAST BASE SECTION

PIPE MATERIAL	MAXIMUM INSIDE DIAMETER (INCHES)
REINFORCED OR FLAIN CONCRETE	12"
ALL METAL PIPE	16"
CPSP # (STD. SPEC. SECT. 9-05.20)	12"
SOLID WALL PVC (STD. SPEC. SECT. 9-05.12(1))	16"
PROFILE WALL PVC (STD. SPEC. SECT. 9-05.12(2))	16"

* CORRUGATED POLYETHYLENE STORM SEWER PIPE

NOTES

- As acceptable alternatives to the rebar shown in the PRECAST BASE SECTION, fibers (placed according to the Standard Specifications), or wire mesh having a minimum area of 0.12 square inches per foot shall be used with the minimum required rebar shown in the ALTERNATIVE PRECAST BASE SECTION. Wire mesh shall not be placed in the knockouts.
- The knockout diameter shall not be greater than 20" (in). Knockouts shall have a wall thickness of 2" (in) minimum to 2.5" (in) maximum. Provide a 1.5" (in) minimum gap between the knockout wall and the outside of the pipe. After the pipe is installed, fill the gap with joint mortar in accordance with Standard Specification Section 9-04.3.
- The maximum depth from the finished grade to the lowest pipe invert shall be 5' (ft).
- The frame and grate may be installed with the flange down, or integrally cast into the adjustment section with flange up.
- The Precast Base Section may have a rounded floor, and the walls may be sloped at a rate of 1 : 24 or steeper.
- The opening shall be measured at the top of the Precast Base Section.
- All pickup holes shall be grouted full after the basin has been placed.



CATCH BASIN TYPE 1
STANDARD PLAN B-5.20-03
SHEET 1 OF 1 SHEET
APPROVED FOR PUBLICATION
DATE: 2020.09.01 07:52:50 -07'00
Roark, Steve
STATE DESIGN ENGINEER
Washington State Department of Transportation

B CATCH BASIN TYPE 1

MOUNT VERNON FILL & GRADE PERMIT
This set of plans is approved for construction in accordance with the City of Mount Vernon's codes and policies. Approval of this set of plans does not imply or convey permission to construct any item unless accompanied by a signed and approved permit covering the work. Actual conformance of the design with applicable laws is the sole responsibility of the professional engineer whose name and stamp appear on this set of plans. Acquiring, complying with and providing mitigation for all applicable Federal, State, County, and local laws, permits and mandates, is the responsibility of the Landowner, Engineer, and Contractors working on this project. The approval of this plan set shall not be construed as proof of compliance with applicable laws and permit requirements. The approval of this plan set will expire one-year from the date City staff signed this plan set.
Signed: Alan Dierdorf, Engineering Manager 04/07/2026

BEDDING SPECIFICATIONS FOR PVC PIPE

THE FOLLOWING SUPPLEMENTAL SPECIFICATIONS ARE TO BE USED IN CONJUNCTION WITH THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION, CURRENT EDITION:

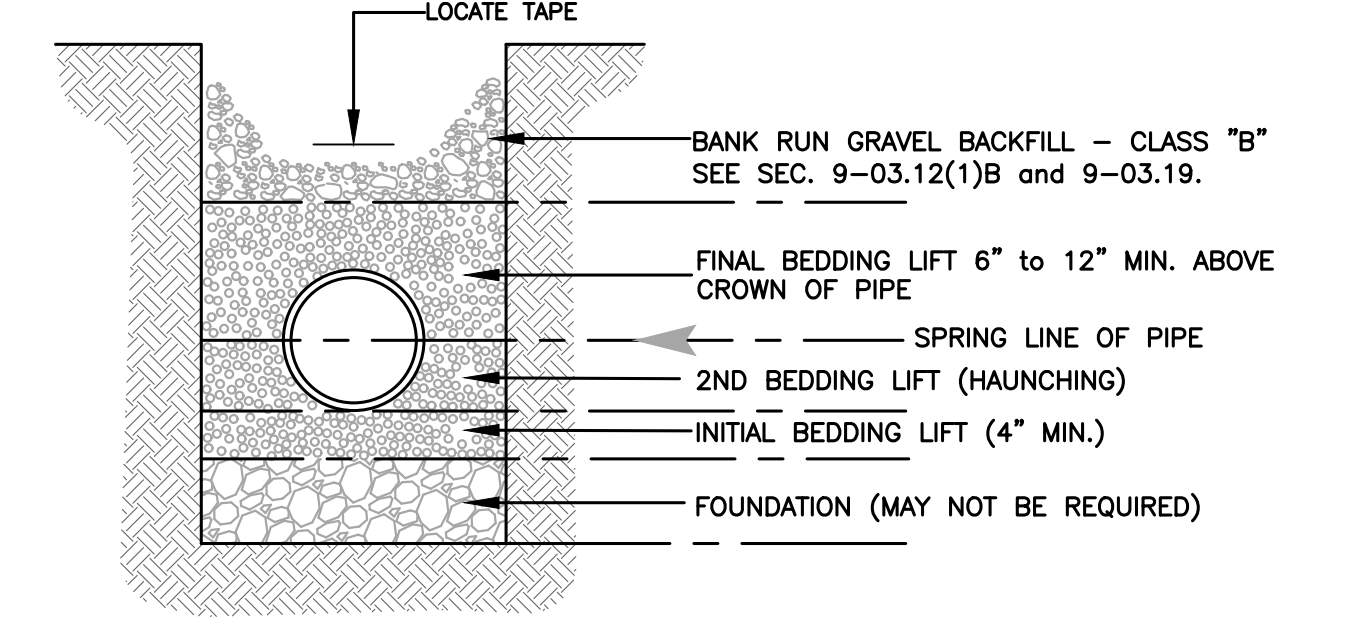
BEDDING FOR SEWERS, DRAINS AND CULVERTS FOR THERMOPLASTIC PIPE--

BEDDING MATERIAL FOR THERMOPLASTIC PIPE SHALL BE PEA GRAVEL CONFORMING TO THE FOLLOWING SPECIFICATIONS.

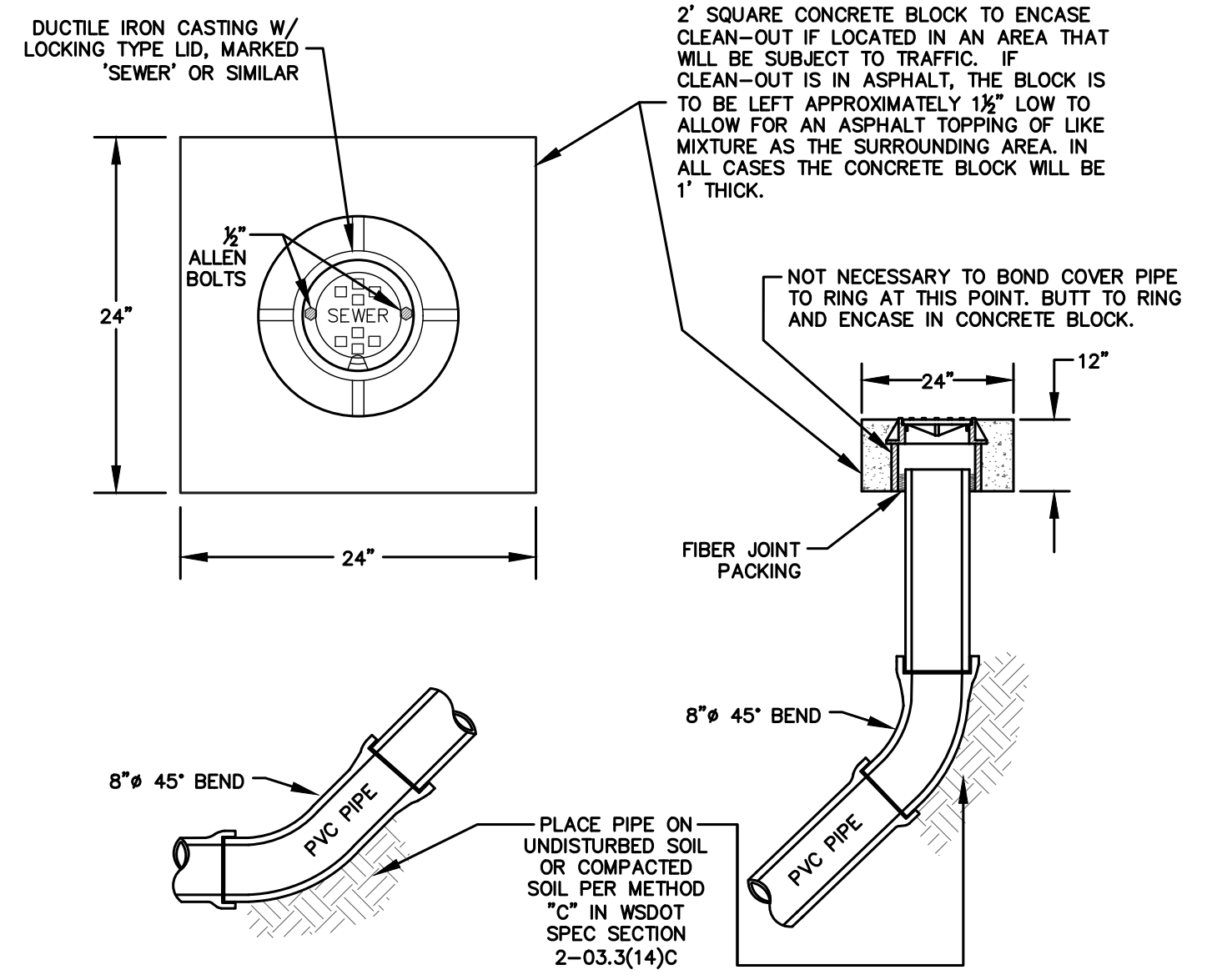
PEA GRAVEL - PEA GRAVEL BEDDING SHALL BE A CLEAN MIXTURE FREE FROM ORGANIC MATTER AND CONFORMING TO THE FOLLOWING GRADATION WHEN TESTED IN ACCORDANCE WITH ASTM D422:

U.S. STANDARD SIEVE SIZE	PERCENT PASSING, BY WT.
3/4"	100
7/8"	95-100
#8	0-10
#200	0-3

BACKFILL - WHEREVER A TRENCH IS EXCAVATED IN THE EXISTING OR PROPOSED ROADWAY, SIDEWALK OR OTHER AREAS WHERE SETTLEMENT WOULD BE DETRIMENTAL, THE ENTIRE TRENCH SHALL BE BACKFILLED WITH IMPORTED GRAVEL AND COMPACTED TO 95% OF MAXIMUM DENSITY.

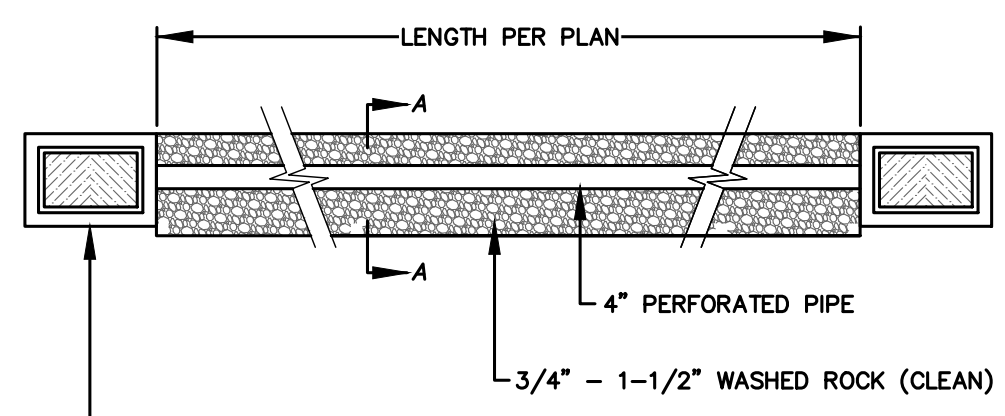


C THERMOPLASTIC PIPE BEDDING DETAIL

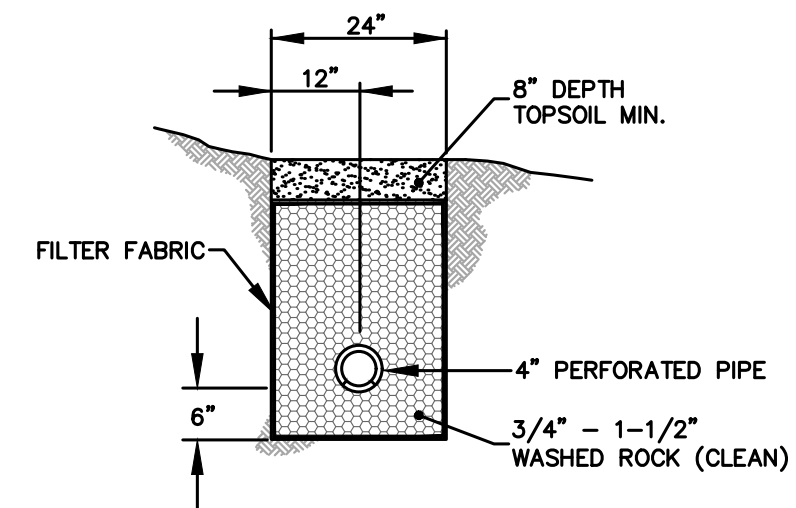


NOTE: PIPE SIZE VARIES - SEE SEWER PLANS FOR SPECIFIC SIZES

D CLEANOUT (SDCO)

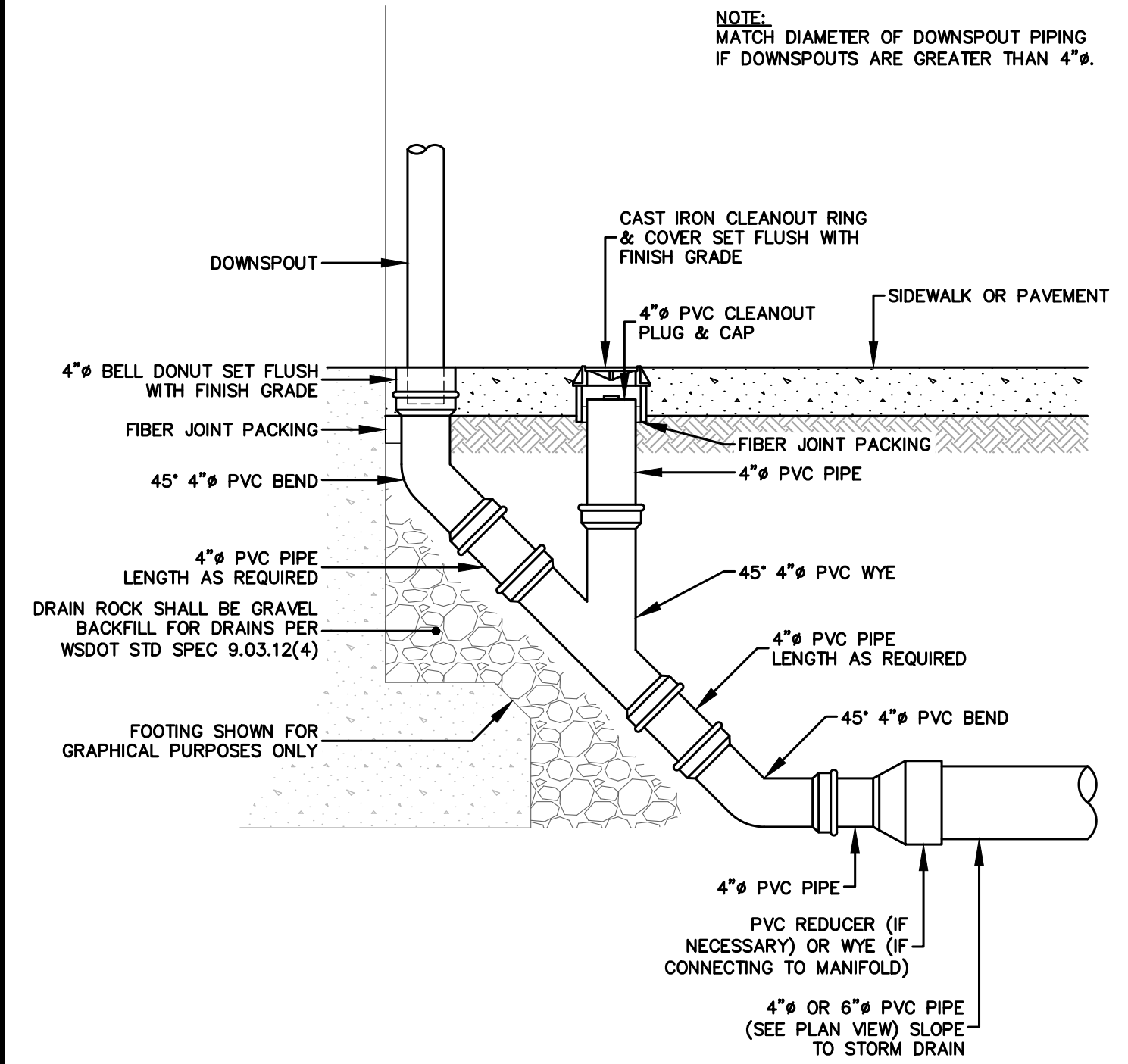


PLAN VIEW



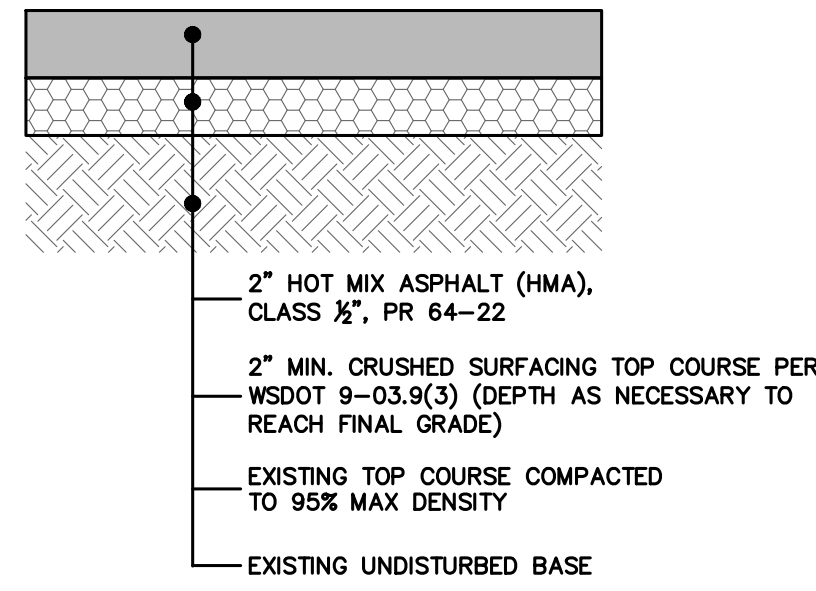
SECTION A-A

E FRENCH DRAIN



F DOWNSPOUT CLEANOUT

NOTE:
ALL DEPTHS REPRESENT
COMPACTED THICKNESSES.

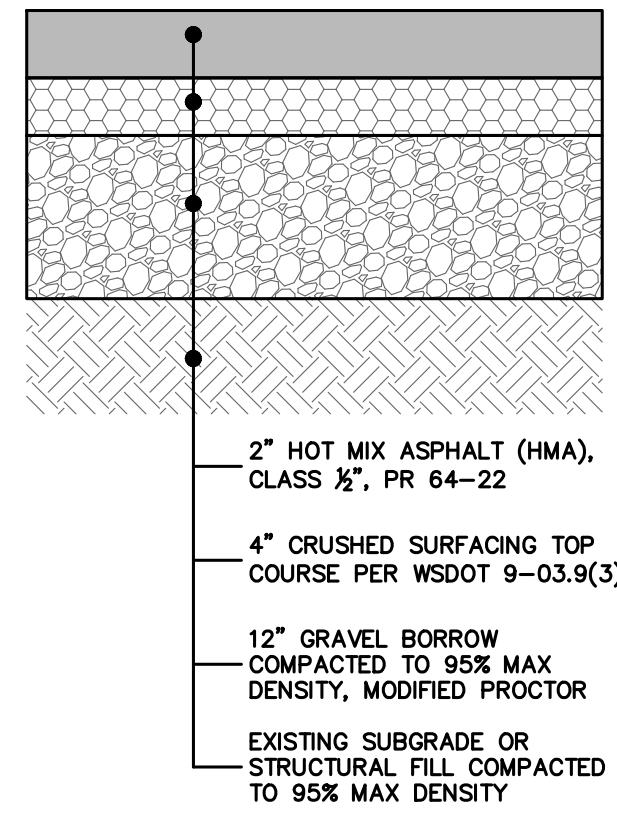


SUBGRADE AND GRAVEL BASE NOTES:

- (1) PAVEMENT SUBGRADE MUST MEET WSDOT STANDARDS AND BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO FILL OR PAVING
- (2) HOT MIX ASPHALT ON SITE MAY BE RECYCLED WITHIN THE PARAMETERS ESTABLISHED BY WSDOT STANDARD SPECIFICATION 9-03.21, INCLUDING THE MAXIMUM ALLOWABLE PERCENTAGES LISTED IN TABLE 9-03.21(1)E.
- (3) HMA, AGGREGATE AND BINDER TO MEET WSDOT STANDARDS.
- (4) FOG SEAL MAY BE REQUIRED IF THE ASPHALT MAT IS TOO OPEN-GRADED IN THE OPINION OF THE CITY ENGINEER.
- (5) FINAL ADJUSTMENT OF EXISTING CATCH BASINS, RIMS, CASTINGS, STRUCTURES, VALVES, ETC. SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

A ASPHALT PAVEMENT w/ TOP COURSE
nts

NOTE:
ALL DEPTHS REPRESENT
COMPACTED THICKNESSES.



SUBGRADE AND GRAVEL BASE NOTES:

- (1) PAVEMENT SUBGRADE MUST MEET WSDOT STANDARDS AND BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO FILL OR PAVING
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- (3) HMA, AGGREGATE AND BINDER TO MEET WSDOT STANDARDS.
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- (5) FINAL ADJUSTMENT OF EXISTING CATCH BASINS, RIMS, CASTINGS, STRUCTURES, VALVES, ETC. SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

B ASPHALT PAVEMENT - FULL DEPTH REPLACEMENT
nts

1. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARITY WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES. VERIFY ALL UTILITY LOCATIONS, PADS, AND APPURTENANCES PRIOR TO SUBGRADE PREPARATION ACTIVITIES. DO NOT BLOCK ACCESS TO UTILITY STRUCTURES. IDENTIFY DISCREPANCIES IMMEDIATELY TO OWNER.
2. ESTABLISH SUB-GRADE ELEVATIONS THAT WILL ACCOMMODATE FULL SOIL DEPTHS AS SPECIFIED IN BMP 15.13, ACCOMMODATE DEPTHS TO ALLOW FOR COMPOST ADDED FOR SUBGRADE PREPARATION AND SUBGRADE OPERATIONS.
3. SUB-GRADE PREPARATION FOR SEEDED AREAS SHALL BE AS FOLLOWS:
 - RIP/LOOSEN SUB-GRADE TO A DEPTH OF 4".
 - REMOVE COBBLES, ROCKS, CONCRETE, ASPHALT AND OTHER DEBRIS OVER 1/2" IN DIAMETER.
 - INCORPORATE/TILL FIRST LIFT OF TOPSOIL "A", OR SOIL AMENDMENT MEDIUM (ORGANIC COMPOST) INTO THE SUB-GRADE, TILLING THE COMPOST INTO THE SOIL SHALL BE ACCOMPLISHED BY TILLING IT TWICE, THE SECOND TIME PERPENDICULAR TO THE FIRST.
4. TOPSOIL SHALL BE PLACED IN TWO EQUAL LIFTS. THE FIRST LIFT SHALL BE INCORPORATED/ROTOTILLED INTO PREPARED SUBGRADE TO A MINIMUM 4" DEPTH. ALL AREAS SHALL BE FINAL GRADED TO AVOID HIGH OR LOW SPOTS, AND PROVIDE POSITIVE DRAINAGE.
5. TOPSOIL "A" (IMPORTED TOPSOIL) SHALL BE APPLIED IN LANDSCAPE AREAS. TOPSOIL "C"/AMENDED SOIL AREAS CONSIST OF LANDSCAPE/GRASS AREAS WHERE CONSTRUCTION ACTIVITIES CAUSED DISTURBANCE TO SOIL AND RESTORATION OF GRASS AND TOPSOIL IS REQUIRED.
6. FINISH GRADE OF TURF SHALL BE 1" BELOW FINISHED SURFACE OF ADJACENT WALK OR PAVED AREAS TO ENSURE POSITIVE DRAINAGE INTO LANDSCAPE AREA. LAWN/GRASS AREAS NEAR PAVED/HARD SURFACES SHALL BE AT 1" BELOW ADJACENT SURFACES.
7. ALL AREAS OF BARE SOIL OR AREAS IMPACTED BY VEHICULAR USE OF ANY KIND, OR STORAGE OF MATERIALS INSIDE AND OUTSIDE OF THE CLEARING LIMITS SHALL RECEIVE FULL SUBGRADE PREPARATION, INCLUDING COMPOST AMENDMENTS AND SHALL BE RE-ESTABLISHED TO FINISH GRADE, PRE-EXISTING CONDITION AND SHALL BE AT CONTRACTOR'S COST.
8. ESTABLISHMENT/MAINTENANCE PROCEDURES SHALL INCLUDE WATERING, PROTECTION FROM INSECTS OR DISEASE, WEEDING, PRUNING, MOWING, AND OTHER ACTIVITIES AS MAY BE REQUIRED.
9. STANDARD COMMERCIAL GRADE FERTILIZERS AND HERBICIDES SHALL NOT BE APPLIED UNLESS THE CONTRACTOR HAS DEEMED IT NECESSARY TO PROMOTE HEALTHY AND SUSTAINABLE GROWTH. THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM THE OWNER BEFORE APPLYING FERTILIZERS AND HERBICIDES.
10. IRRIGATION SHALL BE ACHIEVED BY TRUCKED IN WATER. THE WATERING SYSTEM SHALL DELIVER UNIFORM DISTRIBUTION OF ADEQUATE WATER TO ESTABLISH ALL GRASS.
11. DISTURBED LAWN AREAS SHALL BE RE-VEGETATED AS GRASS/LAWN. WATER AS NECESSARY TO GERMINATE AND ESTABLISH ROOTS. FENCE OR TAPE-OFF LAWN AREAS TO PREVENT FOOT TRAFFIC FROM ENTERING THE SEEDED AREAS. THE FENCE OR SIMILAR BARRIER SHALL BE REMOVED AFTER LAWN ESTABLISHMENT AT OWNER'S DIRECTION.
12. UPON PROJECT CLOSE-OUT, THE OWNER WILL TAKE OVER MAINTENANCE RESPONSIBILITY OF THE LAWN AREAS. UNTIL THAT POINT, THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE SUCH AS PROTECTION FROM FOOT AND VEHICLE TRAFFIC, AND WATERING.

BMP 15.13 GENERAL NOTES

ESTABLISHING A MINIMUM SOIL QUALITY AND DEPTH IS NOT THE SAME AS PRESERVATION OF NATURALLY OCCURRING SOIL AND VEGETATION. HOWEVER, ESTABLISHING A MINIMUM SOIL QUALITY AND DEPTH WILL PROVIDE IMPROVED ON-SITE MANAGEMENT OF STORMWATER FLOW AND WATER QUALITY. SOIL ORGANIC MATTER CAN BE ATTAINED THROUGH NUMEROUS MATERIALS SUCH AS COMPOST, COMPOSTED WOODY MATERIAL, BIOSOLIDS, AND FOREST PRODUCT RESIDUALS. IT IS IMPORTANT THAT THE MATERIALS USED TO MEET THE SOIL QUALITY AND DEPTH BMP BE APPROPRIATE AND BENEFICIAL TO THE PLANT COVER TO BE ESTABLISHED. LIKEWISE, IT IS IMPORTANT THAT IMPORTED TOPSOILS IMPROVE SOIL CONDITIONS AND DO NOT HAVE AN EXCESSIVE PERCENT OF CLAY FINES. THIS BMP CAN BE CONSIDERED INFEASIBLE ON TILL SOIL SLOPES GREATER THAN 33 PERCENT.

DESIGN GUIDELINES

SOIL RETENTION: RETAIN, IN AN UNDISTURBED STATE, THE DUFF LAYER AND NATIVE TOPSOIL TO THE MAXIMUM EXTENT PRACTICABLE. IN ANY AREAS REQUIRING GRADING REMOVE AND STOCKPILE THE DUFF LAYER AND TOPSOIL ON SITE IN A DESIGNATED, CONTROLLED AREA, NOT ADJACENT TO PUBLIC RESOURCES AND CRITICAL AREAS, TO BE REAPPLIED TO OTHER PORTIONS OF THE SITE WHERE FEASIBLE.

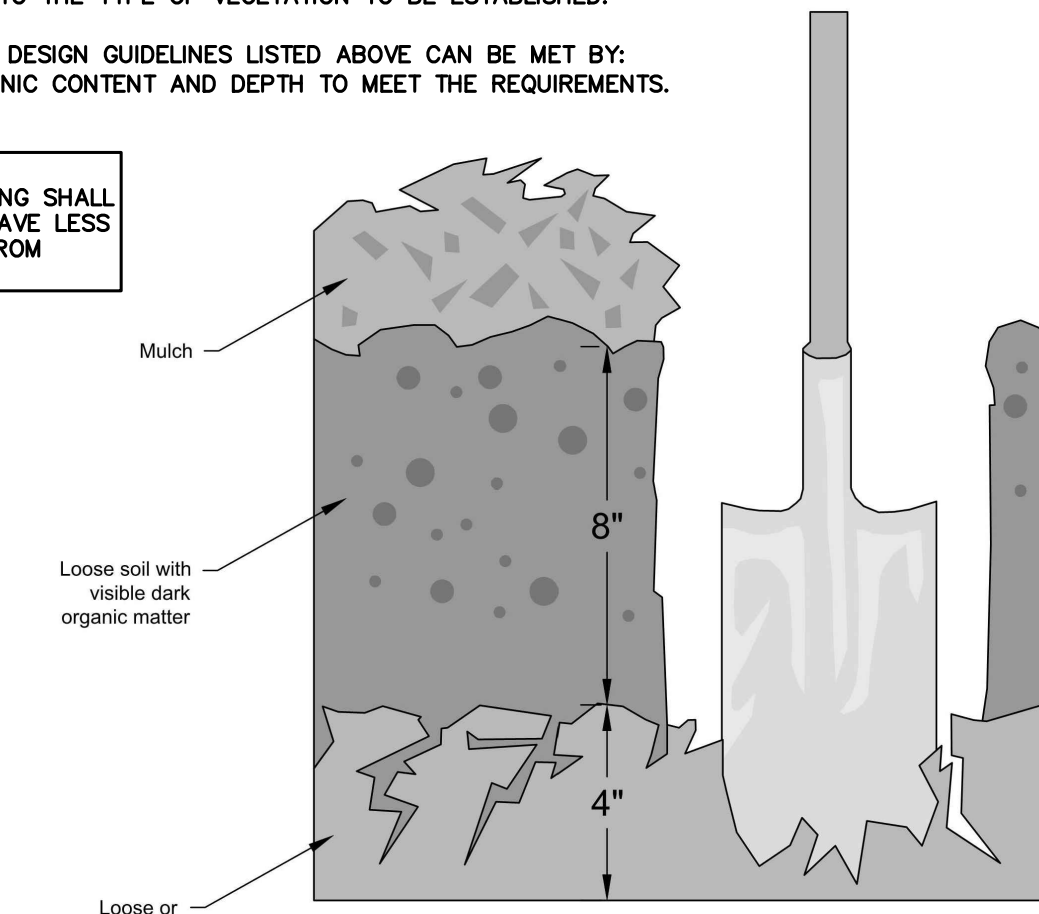
SOIL QUALITY: ALL AREAS SUBJECT TO CLEARING AND GRADING THAT HAVE NOT BEEN COVERED BY IMPERVIOUS SURFACE, INCORPORATED INTO A DRAINAGE FACILITY OR ENGINEERED AS STRUCTURAL FILL OR SLOPE SHALL, AT PROJECT COMPLETION, DEMONSTRATE THE FOLLOWING:

1. A TOPSOIL LAYER WITH A MINIMUM ORGANIC MATTER CONTENT OF 10% DRY WEIGHT IN PLANTING BEDS, AND 5% ORGANIC MATTER CONTENT IN TURF AREAS, AND A PH FROM 6.0 TO 8.0 OR MATCHING THE PH OF THE UNDISTURBED SOIL. THE TOPSOIL LAYER SHALL HAVE A MINIMUM DEPTH OF EIGHT INCHES EXCEPT WHERE TREE ROOTS LIMIT THE DEPTH OF INCORPORATION OF AMENDMENTS NEEDED TO MEET THE CRITERIA. SUBSOILS BELOW THE TOPSOIL LAYER SHOULD BE SCARIFIED AT LEAST 4 INCHES WITH SOME INCORPORATION OF THE UPPER MATERIAL TO AVOID STRATIFIED LAYERS, WHERE FEASIBLE.
2. MULCH PLANTING BEDS WITH 2 INCHES OF ORGANIC MATERIAL.
3. USE COMPOST AND OTHER MATERIALS THAT MEET THESE ORGANIC CONTENT REQUIREMENTS:
 - a. THE ORGANIC CONTENT FOR "PRE-APPROVED" AMENDMENT RATES CAN BE MET ONLY USING COMPOST MEETING THE COMPOST SPECIFICATION FOR BIRETENTION (BMP 17.30), WITH THE EXCEPTION THAT THE COMPOST MAY HAVE UP TO 35% BIOSOLIDS OR MANURE. THE COMPOST MUST ALSO HAVE AN ORGANIC MATTER CONTENT OF 40% TO 65%, AND A CARBON TO NITROGEN RATIO BELOW 25:1. THE CARBON TO NITROGEN RATIO MAY BE AS HIGH AS 35:1 FOR PLANTINGS COMPOSED ENTIRELY OF PLANTS NATIVE TO THE PUGET SOUND LOWLANDS REGION.
 - b. CALCULATED AMENDMENT RATES MAY BE MET THROUGH USE OF COMPOSTED MATERIALS MEETING (A.) ABOVE; OR OTHER ORGANIC MATERIALS AMENDED TO MEET THE CARBON TO NITROGEN RATIO REQUIREMENTS, AND MEETING THE CONTAMINANT STANDARDS OF THE RESULTING SOIL SHOULD BE CONDUIVE TO THE TYPE OF VEGETATION TO BE ESTABLISHED.

IMPLEMENTATION OPTIONS: THE SOIL QUALITY DESIGN GUIDELINES LISTED ABOVE CAN BE MET BY:
1. IMPORT TOPSOIL MIX OF SUFFICIENT ORGANIC CONTENT AND DEPTH TO MEET THE REQUIREMENTS.

SURFACE RESTORATION

SURFACE RESTORATION SHALL BE SOD. SEEDING SHALL NOT BE USED IN LIEU OF SOD. SOD SHALL HAVE LESS THAN 5% CLAY CONTENT WITH NO NETTING FROM LEFEBER TURF FARM OR APPROVED EQUAL.



C SOIL AMENDMENTS & SURFACE RESTORATION
nts

City of MOUNT VERNON **FILL & GRADE PERMIT**

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Signed: *[Signature]* Alan Danforth, Engineering Manager 04/07/2026



2500 Elm Street, Suite 1
Bellevue, WA 98225
t: 360.650.1408
f: 360.650.1401

FREELAND & ASSOCIATES

BY:	
DESCRIPTION:	
REV:	
DATE:	

CLIENT: SKAGIT COUNTY PARKS & RECREATION
1730 CONTINENTAL PLACE
MOUNT VERNON, WA 98273

CALL BEFORE YOU DIG FOR BURIED UTILITY LOCATIONS
1-800-424-5655

PROJECT LOCATION: SKAGIT COUNTY FAIRGROUNDS RESTROOM REPLACEMENT
VIRGINIA STREET & 2700 MARTIN RD
MOUNT VERNON, WA 98273

DRAWING #: 25089SP2.DWG
DESIGNED BY: MPM
DRAWN BY: MPM
CHECKED BY: MDB

SHEET CONTENTS: DETAILS



JOB #: 23057
DATE: 04/06/2026

SHEET: **C8**

<p style="text-align: center;"><u>GENERAL/GRADING</u></p> <ol style="list-style-type: none"> AT THE DISCRETION OF THE CITY, ANY ERRORS OR OMISSIONS IN THE APPROVED PLANS OR INFORMATION USED AS A BASIS FOR SUCH APPROVALS MAY CONSTITUTE GROUNDS FOR WITHDRAWAL OF ANY APPROVALS AND/OR STOPPAGE OF ANY OR ALL PERMITTED WORK. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO SHOW CAUSE WHY SUCH WORK SHOULD RESUME AND MAKE SUCH CHANGES IN PLANS THAT MAY BE REQUIRED BY THE CITY PRIOR TO RE-APPROVAL OF THE PLANS. AN ENGINEERING INSPECTION CARD IS PROVIDED WITH THE ISSUANCE OF EACH PERMIT. THESE ARE THE MINIMUM REQUIRED INSPECTIONS. OTHER INSPECTIONS MIGHT BE REQUIRED AS DETERMINED BY THE CITY INSPECTOR AND THE SCOPE OF THE WORK. THE CONTRACTOR SHALL CALL FOR REQUIRED INSPECTIONS BY CALLING THE INSPECTION LINE NUMBER (360)336-6243. FAILURE TO PROPERLY NOTIFY THE CITY OF REQUIRED INSPECTION MIGHT RESULT ON NON-ACCEPTANCE OF THE WORK. ALL CONTRACTORS WORKING IN THE CITY OF MOUNT VERNON MUST HAVE A CITY OF MOUNT VERNON BUSINESS LICENSE. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTACT "ONE CALL": 1-800 424-5555 (OR 811) ALL CONTRACTORS, SUBCONTRACTORS, TRADES AND CRAFTS PERFORMING WORK DURING CONSTRUCTION MUST ADHERE TO THE SAFETY REGULATIONS FOR CONTRACTORS AND OWNER'S EMPLOYEES IN ACCORDANCE WITH CURRENT WISHA STANDARDS AND REQUIREMENTS. IN ADDITION TO MEETING THE CURRENT CITY OF MOUNT VERNON ENGINEERING STANDARD, ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AND THE AMERICAN PUBLIC WORKS ASSOCIATION STANDARDS AND PRACTICES. TRAFFIC CONTROL SHALL STRICTLY ADHERE TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS. BEFORE ISSUANCE OF A RIGHT-OF-WAY PERMIT, THERE IS TO BE AN APPROVED TRAFFIC CONTROL PLAN BY THE CITY'S DEVELOPMENT SERVICES ENGINEERING DIVISION. NO FULL ROAD CLOSURES WILL BE ALLOWED UNLESS APPROVED BY THE PUBLIC WORKS DIRECTOR. 72 HOUR NOTICE IS REQUIRED FOR LANE CLOSURE NOTIFICATIONS SURVEY STAKING IS REQUIRED FOR ALL UTILITIES AND LOT CORNERS. SCHEDULE ALL INSPECTIONS 24 HOURS IN ADVANCE. WORKING HOURS ARE FROM 7 AM TO 9 PM MONDAY THROUGH FRIDAY. THE PERMITEE IS RESPONSIBLE FOR DAMAGES TO CITY PROPERTY, PAVEMENT, WALKS, UTILITIES, STREET STRIPING, THERMOPLASTICS OR UNDERGROUND CABLES. TRAFFIC SIGNAL DETECTION LOOPS DAMAGED BY CONSTRUCTION WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE UNLESS DIRECTED OTHERWISE BY THE PUBLIC WORKS DIRECTOR. COATED 12 GAUGE OR 14 GAUGE LOCATION WIRE MUST BE INSTALLED OVER ALL UNDERGROUND PVC OR OTHER NON-METALLIC PIPE UNLESS DIRECTED OTHERWISE BY THE INSPECTOR. REVISIONS TO THE APPROVED CIVIL PLANS MUST BE SUBMITTED FOR REVIEW AND APPROVAL BY THE DEVELOPMENT SERVICES ENGINEERING MANAGER. CONSTRUCTION AS-BUILT REQUIREMENTS ARE AS FOLLOWS: THE SITE SHALL BE RESURVEYED AND PLANS APPROPRIATELY MODIFIED BY THE ENGINEER OF RECORD. SUBMIT 1 RED LINED COPY OF PLANS TO APPROVE FOR AS-BUILT. AFTER APPROVAL AND RETURN OF RED LINE PLANS, NEED 1 HARD COPY PLUS 1 AUTOCAD, 1 PDF AND 1 TIF FILE OF FINAL AS-BUILT ON CD, PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY OR FINAL INSPECTION. ALL GRADING DESIGN AND CONSTRUCTION ACTIVITY SHALL COMPLY TITLE 15.16, ALL MOUNT VERNON MUNICIPAL CODE, INCLUDING BUT NOT LIMITED TO 13.33 STORMWATER DRAINAGE UTILITY AND 15.40 CRITICAL AREAS. ALL GRADING DESIGN AND CONSTRUCTION ACTIVITY SHALL COMPLY WITH THE CITY OF MOUNT VERNON ENGINEERING STANDARDS AND THE CURRENT WSDOT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION. A PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO ANY CONSTRUCTION OR GRADING ACTIVITY. A COPY OF THE FILL & GRADE PERMIT AND APPROVED PLANS SHALL BE KEPT ON-SITE DURING CONSTRUCTION. DEVIATION AND REVISIONS TO THE APPROVED PLANS SHALL BE APPROVED BY THE PROJECT'S ENGINEER AND THE CITY OF MOUNT VERNON. RETAINING WALL GREATER THAN 4-FEET IN HEIGHT REQUIRE SEPARATE BUILDING PERMIT. NO GRADING ACTIVITY MAY OCCUR WITHIN A CRITICAL AREA OR CRITICAL AREA BUFFER WITHOUT SPECIFIC APPROVAL. IT SHALL BE THE RESPONSIBILITY OF BOTH THE PERMITEE AND THE PROPERTY OWNER TO ADVISE THE CITY IMMEDIATELY OF ANY DISCREPANCIES, HAZARDOUS CONDITIONS OR PROBLEMS AFFECTING SAFETY AND STABILITY OF THE PROJECT UNLESS OTHERWISE RECOMMENDED IN THE GEOTECHNICAL REPORT: THE SLOPE OF CUT SURFACES SHALL BE NO STEEPER THAN IS SAFE FOR THE INTENDED USE, AND SHALL NOT BE STEEPER THAN THREE UNITS HORIZONTAL TO ONE UNIT VERTICAL (3:1). ALL FILL MATERIAL SHALL MEET THE STANDARD FOR THE INTENDED FUTURE USE. MATERIAL TO BE PLACED IN AREAS OF FUTURE BUILDING SITE SHALL BE STRUCTURAL FILL MATERIAL. TESTING SHALL BE REQUIRED AS DEEMED NECESSARY BY THE CITY OF MOUNT VERNON. THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, TOPSOIL AND OTHER UNSUITABLE MATERIALS, AND SCARIFYING THE GROUND TO PROVE A BOND WITH THE FILL MATERIAL. FILL MATERIAL SHALL NOT INCLUDE ORGANIC, FROZEN OR OTHER DELETERIOUS MATERIALS. NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL GREATER THAN 12-INCHES IN ANY DIMENSION SHALL BE INCLUDED IN FILLS. ALL FILL MATERIAL SHALL BE COMPACTED AT A MINIMUM TO 90 PERCENT OF MAXIMUM DENSITY AS DETERMINED BY ASTM 1557 MODIFIED PROCTOR, IN LIFTS NOT EXCEEDING 12-INCHES IN DEPTH. TESTS TO DETERMINE THE DENSITY OF COMPACTED FILLS SHALL BE MADE ON THE BASIS OF NOT LESS THAN ONE TEST PER 7000 SQUARE FEET OF COMPACTED AREA PER 2-FOOT VERTICAL LIFT. ADDITIONAL TESTING MAY BE REQUIRED AT THE DIRECTION OF THE CITY INSPECTOR. COMPACTION OF TEMPORARY STOCKPILE FILLS SHALL NOT BE REQUIRED, EXCEPT WHERE THE BUILDING OFFICIAL DETERMINES THAT COMPACTION IS NECESSARY AS A SAFETY MEASURE. PROPERTY LOCATION AND APPROVED SETBACKS MUST BE ESTABLISHED AND STAKES SET UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR WHEN GRADING ACTIVITIES OCCUR. THOSE STAKES MUST BE MAINTAINED IN PLACE UNTIL FINAL INSPECTION OF WORKS SO THAT THE INSPECTOR CAN DETERMINE AT ANY TIME IF THE EXCAVATION IS PROPERLY LOCATED AS RELATED TO PROPERTY LINES. SETBACK DIMENSIONS SHALL BE MEASURED PERPENDICULAR TO THE PROPERTY LINE. THE SETBACK AT THE TOP OF A CUT SLOPE SHALL NOT BE LESS THAN 5-FEET OR THAN IS REQUIRED TO ACCOMMODATE ANY REQUIRED INTERCEPTOR DRAINS, WHICHEVER IS GREATER. THE TOE OF A SLOPE DISTANCE TO PROPERTY AND EASEMENT LINES SHALL BE AS FOLLOWS: FOR SLOPES LESS THAN 11-FEET IN HEIGHT THE MINIMUM DISTANCE SHALL BE 5-FEET. FOR SLOPES 11-FEET IN HEIGHT OR GREATER THE MINIMUM DISTANCE SHALL BE HEIGHT/2 THE TOP OR TOE OF A SLOPE DISTANCE TO A STRUCTURE SHALL BE NOT LESS THAN 10 FEET. DRAINAGE SHALL BE PROVIDED IN ACCORDANCE WITH CITY OF MOUNT VERNON MUNICIPAL CODE 13.33 AND ENGINEERING STANDARDS AS THEY ARE CURRENTLY WRITTEN OR AS THEY MAY BE AMENDED IN THE FUTURE. TERRACING AND BENCHING SHALL BE PROVIDED AS RECOMMENDED IN THE GEOTECHNICAL REPORT INTERCEPTOR DRAINS SHALL BE INSTALLED ALONG THE TOP OF CUT SLOPES RECEIVING DRAINAGE FROM A TRIBUTARY WIDTH GREATER THAN 40-FEET, MEASURE HORIZONTALLY. DRAINS SHALL BE CONSTRUCTED OF SOLID, NOT FLEXIBLE, PIPE. DOWN DRAINS SHALL TERMINATE INTO A CATCH BASIN OR OTHER APPROVED RECEIVER TO PREVENT SCOURING AT THE OUTFALL. FOR CONSTRUCTION SITE 1-ACRE OR LARGER A CERTIFIED EROSION & SEDIMENT CONTROL LEAD SHALL BE IDENTIFIED FOR THE PROJECT AND SHALL BE ON-CALL AT ALL TIMES. THE NAME AND PHONE NUMBER OF THE CONTACT PERSON SHALL BE POSTED ON SITE. NO TRACKING OF MUD OR DEBRIS ON TO PUBLIC STREETS IS ALLOWED. ALL GRADING ACTIVITY IS LIMITED TO THE HOURS BETWEEN 7:00 AM AND 9:00 PM MONDAY THROUGH FRIDAY AND 8:00 AM AND 9:00 PM SATURDAY AND SUNDAY. THE BUILDING OFFICIAL IS AUTHORIZED TO GRANT AN EXTENSION OF WORKING HOURS. PROJECTS SHALL BE INSPECTED AT VARIOUS STAGES OF THE WORK TO DETERMINE THAT ADEQUATE CONTROL IS BEING EXERCISED. STAGES OF WORK SUBJECT TO INSPECTION INCLUDE, BUT ARE NOT LIMITED TO: PRE-CONSTRUCTION, EROSION CONTROL, GRADING ACTIVITIES, INSTALLATION OF UTILITIES, STORMWATER FACILITIES, RETAINING WALLS, LANDSCAPING AND COMPLETION OF PROJECT. 	<p style="text-align: center;"><u>STORM SEWER</u></p> <ol style="list-style-type: none"> ALL PIPE MATERIAL, JOINTS AND PROTECTIVE TREATMENT SHALL BE IN ACCORDANCE WITH WSDOT SPECIFICATIONS UNLESS OTHERWISE SPECIFIED. ON SITE-CONVEYANCE PIPE SHALL BE RIGID GASKETED PIPES STORM PIPE SHALL BE A MINIMUM OF 12 INCHES DIAMETER UNLESS OTHERWISE SPECIFIED WYES OR TEES WILL BE ALLOWED ON ROOF/YARD DRAIN SYSTEMS WITH CLEAN-OUTS UPSTREAM. CLEAN-OUTS MUST BE LOCATED OUTSIDE CITY ROW. ALL CONNECTIONS TO STORM STRUCTURES MUST HAVE SAND COLLARS IF SMOOTH OUTSIDE WALL PVC AND MUST BE INSPECTED PRIOR TO BACKFILLING. CONNECTIONS TO THE STORM WATER SYSTEM SHALL BE MADE ONLY AT STRUCTURES UNLESS OTHERWISE APPROVED. STORM SEWER STUB TO BE IDENTIFIED WITH A PAINTED WHITE PRESSURE TREATED 2" X 4" MARKER BOARD INDICATING THE DEPTH TO THE TOP OF THE PIPE WITH A CLEAN OUT AT THE PROPERTY LINE. PIPE COVER SHALL BE 24" MINIMUM UNLESS OTHERWISE SPECIFIED. RESTRICTOR ORIFICE/ FLOW CONTROL ASSEMBLY MUST BE INSPECTED PRIOR TO INSTALLATION. NEW STORM SEWER SYSTEMS AND RECONNECTION TO EXISTING SYSTEMS MUST BE VACTORED, SCREENED AND FLUSHED PRIOR TO FINAL ACCEPTANCE. DETENTION PONDS DESIGNED FOR USE AS SEDIMENT PONDS SHALL BE CLEANED OF SEDIMENT ACCUMULATION BEFORE CONNECTION TO CITY STORMWATER SYSTEM AND BEFORE ACCEPTANCE OF THE PROJECT PVC PIPE SHALL BE ENCASED IN A STEEL OR DUCTILE IRON CASING WHEN CROSSING UNDER IMPROVEMENTS WHERE THE ABILITY TO REMOVE AND REPLACE PIPE WITHOUT DISTURBANCE TO THE IMPROVEMENT IS NEEDED CASINGS SHALL EXTEND A MINIMUM OF 5' PAST EACH EDGE OF THE IMPROVEMENT, OR A DISTANCE EQUAL TO THE DEPTH OF PIPE, WHICHEVER IS GREATER. THE CARRIER PIPE SHALL BE SUPPORTED BY CASING SPACERS WHERE CASING LENGTH EXCEEDS 10' <p style="text-align: center;"><u>SANITARY SEWER</u></p> <ol style="list-style-type: none"> APPROVED SANITARY SEWER PIPE: SDR 35 PVC (ASTM 3034) WITH FLEXIBLE GASKETED JOINTS UNLESS OTHERWISE SPECIFIED. DEPTH OF COVER SHALL BE 2 FOOT MINIMUM AND 20 FOOT MAXIMUM. TRENCH EXCAVATION SHALL BE ACCORDING TO WSDOT STANDARD. ALL CLEANOUTS SHALL BE ACCORDING TO DETAILS ON DRAWINGS. MINIMUM MANHOLE DEPTH IS 5 FOOT MINIMUM WITH APPROVAL BY PUBLIC WORKS DIRECTOR ALL MANHOLE CONNECTIONS MUST BE INSPECTED PRIOR TO BACKFILL. EACH BARREL SECTION TO BE GROUTED INSIDE AND OUTSIDE. NEW SANITARY SEWER SYSTEMS AND RECONNECTION TO EXISTING SYSTEMS MUST BE SCREENED, FLUSHED, VIDEO INSPECTED AND A COPY OF THE INSPECTION PROVIDED TO THE CITY PRIOR TO FINAL ACCEPTANCE. SEWER PIPE 8 INCHES OR LARGER MUST BE VIDEO INSPECTED BY AN APPROVED CONTRACTOR AND PRESSURES TESTED AT 4 POUNDS PER SQUARE INCH FOR 15 MINUTES. ALL BUILDING SIDE SEWERS SHALL BE PRESSURE TESTED FROM THE LOT STUB/CLEAN-OUT TO THE BUILDING PER MVMC 13.16. TESTING METHOD WILL DEPEND ON SITE CONDITIONS AND AS DETERMINED BY CITY INSPECTOR. HYDROSTATIC PRESSURE TESTING IS PREFERRED. SANITARY SEWER MANHOLE CHANNELS SHALL BE 1/2 TO 3/4 DIAMETER OF THE PIPE. SANITARY SEWER STUB TO BE IDENTIFIED WITH A 2" X4" PAINTED GREEN PRESSURE TREATED MARKER BOARD INDICATING THE DEPTH TO THE TOP OF THE PIPE WITH A CLEAN OUT AT THE PROPERTY LINE. THE CONTRACTOR SHALL PLUG THE OUTLET OF THE NEW SEWER CONNECTION DISCHARGING TO AN EXISTING SANITARY SEWER SYSTEM UNTIL FINAL ACCEPTANCE OF THE NEW SYSTEM. THE CONTRACTOR SHALL VERIFY MINIMUM 2% SLOPE AND INVERT ELEVATIONS OF SEWER LATERAL. A MINIMUM OF 3 FEET SHALL BE PROVIDED FROM THE PROPOSED BUILDING FF ELEVATION TO THE SEWER MAIN TO ENSURE POSITIVE FLOW. THE CONTRACTOR IS REQUIRED TO KEEP RECORDS OF SEWER INVERT ELEVATIONS FOR AS-BUILT PLANS. REDLINE AS-BUILT PLAN NOTING ANY CHANGES FROM THE PLANS SHALL BE PROVIDED TO THE ENGINEER FOLLOWING CONSTRUCTION. DUCTILE IRON SLEEVE REQUIRED UNDER WALL FOUNDATIONS. ALL WORK SHALL BE INSPECTED AND APPROVED BY A REPRESENTATIVE OF CITY OF MOUNT VERNON, AND 24 HOURS NOTICE MUST BE GIVEN PRIOR TO STARTING WORK OR SCHEDULE INSPECTIONS. <p style="text-align: center;"><u>STREETS/PAVEMENTS</u></p> <ol style="list-style-type: none"> SUB GRADE MUST BE INSPECTED PRIOR TO PAVEMENT REPLACEMENT. CURBS, GUTTERS AND SIDEWALKS TO HAVE EXPANSION JOINT EVERY 15 FEET FULL THICKNESS OF SIDEWALK. EXPANSION MATERIAL REQUIRED BETWEEN BACK OF CURB AND SIDEWALK. SIDEWALK RAMPS MUST MEET AMERICAN WITH DISABILITY ACT (ADA) REQUIREMENTS. TRUNCATED DOMES SHALL BE IMBEDDED AND NOT GLUTED. ALL ASPHALT SEAMS MUST BE SAW CUT AND CRACK SEALED AND SAND HEAT IMMEDIATELY APPLIED TO PREVENT FROM PEELING DUE TO TRAFFIC ALL STRIPING AND SIGNAGE (NEW AND REPLACEMENT) SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/PERMITEE. ALL EARTHWORKS UNDER PAVING AND SIDEWALKS TO BE USED BY VEHICULAR TRAFFIC SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY PER ASTM D-1557-70 (PROCTOR). ALL OTHER AREAS SHALL BE COMPACTED TO 90% SUBGRADE CERTIFIED BY GEOTECHNICAL CONSULTANT AND RESPECTIVE REPORTS SHALL BE PROVIDED TO THE CITY SUB GRADE DENSITIES WILL BE REQUIRED ON SITE. DENSITY AND SPECIAL INSPECTION REPORTS SHALL BE PROVIDED TO THE CITY. BACKFILL MATERIAL IN CITY RIGHT-OF-WAY AND PRIVATE PROPERTY IS TO BE GRAVEL BASE PLACED ON LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH. NO NATIVE FILL IS ALLOWED. CONTROL DENSITY FILL IS REQUIRED ON ARTERIAL STREETS AND ON AREAS OF DIFFICULT COMPACTION WHEN APPROVED BY THE CITY. FINAL ASPHALT RESTORATION SHALL BE COMPLETED WITHIN 14 DAYS OF COMMENCING STREET/TRENCH WORK. EXTENSION MIGHT BE GRANTED BY DEVELOPMENT SERVICES ENGINEERING MANAGER. "POT HOING" IS GENERALLY NOT ALLOWED. ALL PAVEMENT REPAIR SHALL BE SAWCUT BEFORE REMOVAL. <p style="text-align: center;"><u>EARTHWORK</u></p> <ol style="list-style-type: none"> THE CONTRACTOR SHALL CLEAR, GRUB AND CLEAN UP THOSE AREAS SHOWN ON THE PLANS. THE CONTRACTOR SHALL RAZE, REMOVE AND DISPOSE OFF-SITE OF ALL PAVEMENT, STRUCTURES, AND OTHER OBSTRUCTIONS. SALVAGE AND RELOCATE STRUCTURES IF NOTED ON THE PLANS. THE CONTRACTOR SHALL EXCAVATE AND GRADE TO THE ALIGNMENT, GRADE AND CROSS-SECTIONS SHOWN IN THE PLANS OR ESTABLISHED BY THE ENGINEER. MAXIMUM DENSITY AND OPTIMUM MOISTURE FOR GRANULAR MATERIALS SHALL BE DETERMINED USING ASTM D-1557 TEST METHOD. SUBGRADE PREPARATION SHALL BE PER WDOT 3-05 AND SHALL BE REVIEWED BY THE GEOTECHNICAL TESTING AGENCY. MATERIAL DETERMINED BY GEOTECHNICAL TESTING AGENCY TO BE UNSUITABLE AND NOT FIT FOR SUB-GRADE SHALL BE EXCAVATED 24 INCHES AND REPLACED WITH STRUCTURAL FILL STRUCTURAL FILL TO MEET GRAVEL BORROW PER WSDOT STANDARD SPEC 9-03.14(1) WITH LESS THAN 5% PASSING THE NO. 200 OVER MIRAFI 600X. 	<p style="text-align: center;"><u>EROSION CONTROL</u></p> <p>APPROVAL OF THIS EROSION AND SEDIMENT CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).</p> <ol style="list-style-type: none"> PRIOR TO COMMENCING CONSTRUCTION, ALL CRITICAL AREAS, INCLUDING WETLAND BUFFERS, STREAM BUFFER, LANDFILL AREAS, AND CONDITIONS AS DETERMINED BY THE CITY ONSPECTOR SHALL BE CONTINUOUSLY DEMARCATED IN THE FIELD USING FLAGGING TAPE OR FENCING. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF MOUNT VERNON STANDARDS AND SPECIFICATIONS. EROSION CONTROL METHODS AND MATERIALS SHALL MEET REQUIREMENTS OF THE APWA/WASHINGTON STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION(CURRENT EDITION) AND REQUIREMENTS SET FORTH IN VOLUME II OF THE "STORMWATER MANAGEMENT MANUAL FOR THE PUGET SOUND BASIN (THE TECHNICAL MANUAL)", BY THE WASHINGTON STATE DEPARTMENT OF ECOLOGY, EDITION CURRENTLY ADOPTED BY THE CITY OF MOUNT VERNON. THE CONTRACTOR SHALL FOLLOW RECOMMENDATIONS MADE BY SUPPLIERS AND MANUFACTURERS OF MATERIALS AND EQUIPMENT USED. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE INSTALLED AND IN OPERATION IN ADVANCE OF ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS. WHEREVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS. ADDITIONALLY, MORE ESC FACILITIES MAY BE REQUIRED TO ENSURE COMPLETE SILTATION CONTROL. DURING THE COURSE OF CONSTRUCTION, IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY CONSTRUCTION ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES OVER AND ABOVE THE MINIMUM REQUIREMENTS AS MAY BE NEEDED. ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. A COPY OF THE APPROVED EROSION CONTROL PLANS MUST BE KEPT ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS. A CLEARING CONTROL FENCE SHALL BE INSTALLED AT THE DRIP LINE OF TREES TO BE SAVED WHEREVER THE TREE CANOPIES EXTEND INTO THE AREA TO BE CLEARED. OFF-SITE STREETS MUST BE KEPT CLEAN AT ALL TIMES. IF DIRT IS DEPOSITED ON THE PUBLIC STREET SYSTEM, THE STREET SHALL BE IMMEDIATELY CLEANED WITH POWER SWEEPER OR OTHER APPROVED EQUIPMENT. ALL ADJACENT OFF-SITE PROPERTIES AND DRAINAGE FACILITIES SHALL BE PROTECTED FROM DAMAGE. ALL VEHICLES SHALL LEAVE THE SITE BY WAY OF THE CONSTRUCTION ENTRANCE AND SHALL BE CLEANED OF ALL DIRT THAT WOULD BE DEPOSITED ON THE PUBLIC STREETS. ALL PROPERTIES ADJACENT TO THE PROJECT SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND RUNOFF. DO NOT FLUSH SEDIMENT OR CONCRETE BY-PRODUCTS OR CLEAN TRUCKS NEAR OR INTO THE STORM DRAINAGE OR SEWER SYSTEMS. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE FACILITIES IS THE RESPONSIBILITY OF THE OWNER/APPLICANT/ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED. ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS. ANY AREA NEEDING ESC MEASURES NOT REQUIRING IMMEDIATE ATTENTION SHALL BE ADDRESSED WITHIN FIFTEEN (15) CALENDAR DAYS. THE ESC FACILITIES ON ACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH AND WITHIN FORTY-EIGHT HOURS FOLLOWING A STORM EVENT. AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT -LADEN WATER INTO THE DOWNSTREAM SYSTEM. STABILIZED CONSTRUCTION ENTRANCES AND ROADS SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL OFF-SITE PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT. PRIOR TO THE BEGINNING OF THE WET SEASON THE CONTRACTOR SHALL DETERMINE BMP MEASURES. ALL DISTURBED AREAS SHALL BE INSPECTED BY THE CONTRACTOR TO IDENTIFY WHICH AREAS SHALL BE STABILIZED IN PREPARATION FOR THE WINTER RAINS. DISTURBED AREAS SHALL BE STABILIZED WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON.
<p style="text-align: center;"><u>GENERAL/GRADING</u></p>		
<p style="text-align: center;"><u>STORM SEWER</u></p>		
<p style="text-align: center;"><u>EROSION CONTROL</u></p>		
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<p style="text-align: center;"><u>EARTHWORK</u></p>		
<p style="text-align: center;"><u>TESTING</u></p>		
<p style="text-align: center;"><u>CITY OF MOUNT VERNON REQUIRED INSPECTIONS</u></p>		
<p style="text-align: center;"><u>SUBMITTALS</u></p>		



BY:																				
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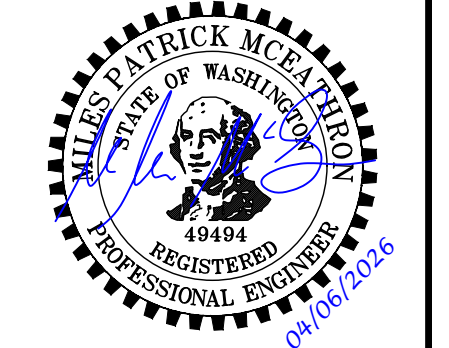
City of MOUNT VERNON FILL & GRADE PERMIT

This set of plans is approved for construction in accordance with the City of Mount Vernon's codes and policies. Approval of this set of plans does not imply or convey permission to construct any item unless accompanied by a signed and approved permit covering the work. Actual conformance of the design with applicable laws is the sole responsibility of the professional engineer whose name and stamp appear on this set of plans. Acquiring, complying with, and providing mitigation for all applicable Federal, State, County, and local laws, permits and mandates, is the responsibility of the Landowner, Engineer, and Contractors working on this project. The approval of this plan set shall not be construed as proof of compliance with applicable laws and permit requirements. The approval of this plan set will expire one-year from the date City staff signed this plan set.

Signed: 04/07/2026
 Alan Danforth, Engineering Manager

NOTES

SHEET CONTENTS:



JOB #: 23057 DATE: 04/06/2026

SHEET: **C9**